



**The Buena Vista Planning & Zoning Commission
Buena Vista Community Center, Piñon Room
715 East Main Street
January 8, 2020 at 6:00PM
AGENDA**

REGULAR MEETING OF THE PLANNING & ZONING COMMISSION

- I. Call to Order**
- II. Pledge of Allegiance**
- III. Roll Call**
- IV. Agenda Adoption**
- V. Approval of Minutes – December 4, 2019**
- VI. Public Comment**
- VII. New Business**
 - 1. The Summit: Special Use Permit for a Hotel at 300, 302, and 304 East Main Street**
 - 2. The Summit: Major Site Plan for a 13,182 sq. ft. Mixed Use Building at 300, 302, and 304 East Main Street**
- VIII. Staff/Commission Interaction**
- IX. Adjournment**

This Agenda may be Amended

Posted at Buena Vista Town Hall, Post Office, Buena Vista Public Library, and www.buenavistaco.gov on
Friday, January 3, 2020



**Minutes of the Regular Meeting of the
Buena Vista Planning and Zoning Commission
December 4, 2019**

CALL TO ORDER

A regular meeting of the Planning and Zoning Commission was called to order at 6:01 pm, Wednesday, December 4, 2019 at the Buena Vista Community Center, 715 East Main Street, Buena Vista, Colorado by Chair Preston Larimer. Also present were Vice Chair Lynn Schultz-Writsel, and Commissioner Craig Brown.

Staff Present: Principal Planner Mark Doering and Planning Technician Robin Mesaric-King.

PLEDGE OF ALLEGIANCE

Chair Larimer led in the Pledge of Allegiance.

ROLL CALL

Mesaric-King proceeded with the roll call and declared a quorum.

AGENDA ADOPTION

Larimer called for approval of the agenda. Schultz-Writsel motioned to adopt the agenda as presented, **Motion #1** seconded by Brown. Motion carried.

APPROVAL OF MINUTES

Brown motioned for approval of the November 6, 2019 minutes as presented. **Motion #2** was seconded by Schultz-Writsel. Motion carried.

PUBLIC COMMENT

Public comments opened at 6:03 pm. With no comments, public comment was closed at 6:03 pm.

NEW BUSINESS

Commissioner Training

Doering outlined the articles he had provided to the Commissioners. The Commission generally discussed possible training topics including small lots, accessory dwelling units, public infrastructure, affordable housing, and other mountain towns with similar issues and development trends; the good months for training to occur and the dates for the 2020 Planning Conference.

Doering informed the Commission that there will be three positions available on the Board of Trustees in April 2020.

STAFF / COMMISSION INTERACTION

Doering informed the Commission that the Board of Trustees had discussed reviewing the Comprehensive Plan and a possible joint work session between the Board of Trustees and the Planning and Zoning Commission. The Commission generally discussed the quantity of dwelling units constructed in the last two years.

ADJOURNMENT

There being no further business to come before the Commission, Schultz-Writsel motioned to adjourn the meeting at 7:17 pm, Brown seconded. **Motion #3** was unanimously approved.

Respectfully submitted:

Preston Larimer, Chair

Robin Mesaric-King, Planning Technician



TOWN OF BUENA VISTA

P.O. Box 2002
Buena Vista, CO 81211
Phone: (719) 395-8643
Fax: (719) 395-8644

DATE: January 3, 2020

HEARING DATE: January 8, 2020

TO: Planning and Zoning Commission

FROM: Mark N. Doering, Principal Planner

AGENDA ITEM: The Summit – A Special Use Permit for a 13-unit hotel in the MU-MS zone district and a Major Site Plan for 13,182 square-foot mixed-used building located at 300, 302, and 304 E. Main Street

Staff Recommendation

That the Planning and Zoning Commission approve both the proposed Special Use Permit for a 13-unit hotel in the MU-MS zone district and a Major Site Plan for a 13,182 square-foot mixed-use building located at 300, 302, and 304 E. Main Street with the following conditions:

Special Use Permit:

1. The Owner shall provide a one-time fee in lieu of parking for five vehicle spaces totaling \$5,000.00 to the Town of Buena Vista within 30 days of the Special Use Permit being approved. The property is not subject to any additional parking requirements for the building located at 300, 302, and 304 E. Main Street.
2. The Owner shall instruct all visitors and tenants that overnight parking is not allowed on East Main Street in its lodging and rental materials, and make its tenants known that any vehicles parked overnight on East Main Street may be towed at the owner's expenses.
3. The Owner shall obtain and maintain a business license prior to and during its use as a hotel.
4. The Owner shall provide a written snow removal plan that complies with the Town's snow removal requirements listed in the Municipal Code to Code Enforcement within 30 days of the Commission's approval.
5. The Owner shall comply with all State of Colorado sanitary standards and regulations for public accommodations as listed in 6 CCR 1010-14, as may be amended.

Major Site Plan:

1. The Site Plan for the mixed-use building shall be corrected for any building code requirements that alter the proposed drawings before the Planning and Zoning Commission. Prior to a Certificate of Occupancy, all corrected drawings shall be digitally submitted to the Town for its records, including any changes from the approved Major Site Plan drawings.

2. The Major Site Plan approval is for the proposed uses and configuration as shown in the Application. Any changes in use shall be subject to the use requirements in effect at the time of any change of use. Prior to said changes of use, the Owner shall confirm with Town staff that the new uses are allowed per the Municipal Code requirements in effect at that time. Permitted uses will be allowed, and Special Uses will only be allowed after the proposed use obtains a Special Use Permit for such use.
3. Parking for the property shall not be limited to the building's tenants, whether it is the Town's rights-of-way in front of the building or leased area in the railroad right-of-way. Parking shall be open to the public on a first come-first serve basis. The Town has the authority to change parking spaces and/or configuration of parking within its rights-of-way at any time.
4. Prior to construction or installation of any encroachments from the building into the Town's rights-of-way, the Owner shall obtain Town approval of an encroachment permit and maintain the insurance for said encroachment permit on an annual basis.
5. Prior to a certificate of occupancy, the rooftop equipment for the kitchen shall be screened from the adjoining properties to the north of the alley to at least the height of the equipment.
6. Screening of trash and recycling areas shall be required to at least the same as the height of the dumpster or trash cans.
7. All lighting shall be downcast and shielded to comply with Town requirements, and shall be inspected and approved by the Town prior to the issuance of a certificate of occupancy, and if any lighting issues are identified, shall be corrected by the Owner to minimize light pollution.
8. All signs shall be installed after obtaining a sign permit meeting the Code in effect at the time of installation, including face changes of approved signs from previously approved tenant signage.
9. All commercial uses shall obtain and maintain a business license, prior and during commercial operations.

Attachments to the Report:

Attachment A – Vicinity Map

Attachment B – Zoning Map

Attachment C – Site Photos

Attachment D – Site Plan Set

Attachment E – Draft Resolution

I. SUMMARY OF REQUEST

Cheryl Richmond, representative for Mt. Princeton Investments, LLC, submitted a Special Use Permit (SUP) application to allow for a 13-unit hotel use located at 300, 302 and 304 E. Main Street, in the Mixed Use – Main Street (MU-MS) Zone District. Hotels located in the MU-MS zone district require a SUP to determine their impacts to the existing functions of Main Street, particularly because overnight parking is not allowed on Main Street itself.

The applicant also submitted a Major Site Plan for a mixed-use building that is 13,182 square-feet in size, which is large enough to require Planning and Zoning Commission Approval prior to obtaining a building permit for the proposed uses. Additionally, the applicant has submitted a Minor Subdivision

to combine the two separate properties back into one building. That review is conducted by the Town Administrator and is not subject to a public hearing for its review and decision, but will be required to be completed prior to the building obtaining a certificate of occupancy.

The applicant proposes to convert the two buildings back into one building and is proposing a 13-unit hotel, restaurant, and retail mixed-use building for the property shown in the Attachments. See Attachment A – Vicinity Map, Attachment B- Zoning Map, Attachment C – Site Photos, and Attachment D – Site Plan Set.

II. HISTORY AND BACKGROUND

The existing buildings were built as part of the same building in 1890 as part of the Mark’s Block. They were subsequently split and sold as separate buildings that most recently contained Gone to the Dogs on the first floor in the 300 E. Main Street space and contained the Green Parrot on the first floor in the 302 and 304 E. Main Street spaces. Both buildings previously had residential units on the second floor of each space. The applicant has obtained a demolition permit for the interior of each space and is currently demolishing the space to prepare for a building permit for the new proposed uses.

III. PROCESS – REQUIRED APPROVALS

The applicant submitted a Special Use Permit (SUP) application for the hotel as specified in Section 16-6.5.2. of the Town of Buena Vista Municipal Code. SUP’s are decided by the Planning and Zoning Commission at a public hearing. The applicant has also submitted a Major Site Plan application because the total square footage of the proposed mixed-use building is 13,182, and is over the 10,000 square foot maximum for an administrative site plan that would be reviewed by the Town Administrator for a final decision as outlined in the Unified Development Code. The Planning and Zoning Commission will make a final decision on the Major Site Plan, since it will not be forwarded to the Board of Trustees.

In addition, the applicant submitted a Minor Subdivision application to combine the existing parcels into one lot that will contain the existing two buildings that are going to be combined back into one building for the proposed site plan. That approval is pending any decision from the Planning and Zoning Commission and will be reviewed by the Town Administrator for the creation of that one lot.

IV. ANALYSIS – ZONING AND LAND USE

	North	South	West	East
Adjacent Zoning Designation	MU-2	MU-MS	MU-MS	MU-MS
Adjacent Land Use	Commercial/Vacant	Commercial	Railroad right-of-way	Commercial

See Attachment A - Vicinity Map, Attachment B - Zoning Map, and Attachment C – Site Plan.

V. ANALYSIS – SPECIAL USE PERMIT CRITERIA

Section 16-6.5.2. of the Buena Vista Municipal Code provides specific review criteria for a SUP. Each criterion is shown below in **bold text** and staff’s analysis follows each criterion in standard text.

1. The proposed use is consistent with the Comprehensive Plan and the purposes of the UDC.

The Comprehensive Plan identifies the need to participate in efforts to revitalize East Main Street. Adding more uses to East Main Street for both residents and tourists will add to that vitality. Additionally, the Comprehensive Plan calls for, "New development and infill in proximity to historic districts or buildings should be similar in scale, massing and architectural character of the district or other important properties."

2. The proposed use complies with applicable use-specific standards.

The hotel use identified in the Land Use Code does not contain any use-specific standards. Review of the hotel is limited to its compliance with the MU-MS zone district standards and the commercial design standards identified in the Code discussed in the next criterion, below.

3. The proposed use complies with all other standards in this UDC.

The proposed hotel use is located in an existing building on East Main Street. The proposed construction with the hotel is limited to enhancements to the facades of the existing building along with compliance with the building code. No changes in the building's footprint, height, or setbacks are proposed with the SUP and Major Site Plan. As such, the applicant is proposing to add one ADA compliant rental unit to the building on the first floor instead of installing an elevator to meeting building code requirements for accessibility. Should any future additions or remodels be done, they will be subject to the requirements of the Municipal Code in effect at the time of that work.

4. The proposed use is consistent with the purpose statement of the underlying zoning district.

The purpose of the MU-MS district is intended to allow for a vertical or horizontal mix of residential and commercial land uses except single-family dwellings along East Main Street in downtown Buena Vista, and other "main street" developments throughout the Town. The district is intended to maintain a vibrant downtown with shopping opportunities, offices, entertainment, lodging, and civic uses. The MU-MS district is intended for predominantly vertical mixed-use (commercial on first floor and other commercial or residential above), with occasional horizontal mixed-use. The MU-MS district places an emphasis on an active street presence with appropriate character and form. This proposed hotel will be in a mixed-use building with commercial retail on the first floor, and is consistent with that purpose statement.

5. Impacts of the use on the surrounding neighborhood have been adequately minimized.

The building will not change from its current footprint. Additional equipment for the restaurant attached to the hotel will be installed to meet County Health Department and Building Code requirements on the top of the first floor at the rear of the building, adjacent to the alley. To minimize noise and its appearance staff is recommending that the equipment be screened from view to at least the height of the equipment. Parking is proposed to be satisfied through a fee in lieu one-time payment of \$5,000.00 to be used by the Town to try to secure additional off-street parking for the entire downtown area. Because no overnight parking is allowed on East Main Street, parking will need to be provided within the existing downtown rights-of-way or in the Railroad right-of-way parking lease west and southwest of the building. Staff has proposed

one condition for the SUP and one condition with the Major Site Plan to ensure that the parking is not limited to users of just this building alone, and that overnight parking for the hotel is not allowed on East Main street (See Attachment E – Draft Resolution).

6. The proposed use does not adversely impact the public health, safety, and welfare of the Town.

The proposed hotel use will not adversely impact the public’s health, safety, and welfare if the owner prepares and follows a snow removal plan for the uses in the entire building and complies with the snow removal requirements listed in the Municipal Code. Staff has included a proposed condition of approval for that element as part of the SUP. Staff has also proposed conditions addressing screening, lighting and encroachments as part of its recommended conditions of approval.

VI. ANALYSIS – MAJOR SITE PLAN CRITERIA

Section 16-6.5.1. of the Buena Vista Municipal Code provides specific review criteria for Major Site Plans. Each criterion is shown below in **bold text** and staff’s analysis follows each criterion in standard text.

1. The site plan is consistent with the Comprehensive Plan and other adopted Town policies and plans.

Reuse of existing buildings in the town’s downtown commercial core for year-round uses is consistent with the Comprehensive Plan and its historic preservation policies. The site plan will result in a restaurant and retail uses on the first floor and a hotel on a part of the first floor and second floor of the existing building. The applicant is proposing to modify the existing storefronts along East Main Street to restore the design to be compatible with the original look of the building using new materials and to reuse some of the materials salvage from the two new windows proposed to be cut into the first-floor façade along Railroad Street.

2. The site plan is consistent with any previously approved plan, planned unit development, and/or any other precedent land use approval.

The site plan is consistent with the approval from the Historic Preservation Commission for some slight modifications to the building’s exteriors as shown in their review of the building’s demolition permit for the interior reviewed in December 2019. Additionally, the site plan is consistent with the concurrent application to combine the two properties into one with a Minor Subdivision.

3. The site plan complies with applicable standards in this UDC.

The site plan is consistent with the setbacks, building coverage, building height and design standards listed in the Unified Development Code. Equipment screening, trash screening, and lighting will also be required to meet code with the redevelopment, and each is listed as a condition of the approval for the site plan.

VII. CONCLUSION AND RECOMMENDATION

Based upon the information and materials provided by the applicant and in the staff report, staff supports the Special Use Permit application for a 13-unit hotel as part of a mixed-use building and a Major Site Plan for a 13,182 square-foot mixed-use building located at 300, 302 and 304 E. Main Street. Therefore, staff recommends that the Planning and Zoning Commission approve both the SUP and Major Site Plan requests, each by separate motion, with the conditions listed in this staff report.

1. Applicant has requested approval of a Special Use Permit to allow for a 13-unit hotel in the MU-MS Zone District and for a Major Site Plan for a 13,182 square foot mixed-use building located at 300, 302, and 304 E. Main Street; and
2. Notice of the public hearing was posted on the property and published in the newspaper as required by the Unified Development Code; and
3. The request was reviewed by the appropriate referral agencies for their review; and
4. The application is consistent with the applicable standards for a Special Use Permit and for a Major Site Plan.

THEREFORE

A. If the Planning and Zoning Commission accepts the conclusion and recommendation as presented in the staff report, it should APPROVE the Special Use Permit in the MU-MS Zoning District for a 13-unit hotel located at 300, 302, and 304 E. Main Street with the following conditions:

1. The Owner shall provide a one-time fee in lieu of parking for five vehicle spaces totaling \$5,000.00 to the Town of Buena Vista within 30 days of the Special Use Permit being approved. The property is not subject to any additional parking requirements for the building located at 300, 302, and 304 E. Main Street.
2. The Owner shall instruct all visitors and tenants that overnight parking is not allowed on East Main Street in its lodging and rental materials, and make its tenants known that any vehicles parked overnight on East Main Street may be towed at the owner's expenses.
3. The Owner shall obtain and maintain a business license prior to and during its use as a hotel.
4. The Owner shall provide a written snow removal plan that complies with the Town's snow removal requirements listed in the Municipal Code to Code Enforcement within 30 days of the Commission's approval.
5. The Owner shall comply with all State of Colorado sanitary standards and regulations for public accommodations as listed in 6 CCR 1010-14, as may be amended.

B. If the Planning and Zoning Commission accepts the conclusion and recommendation as presented in the staff report, it should APPROVE the Major Site Plan for the 13,182 square-foot mixed use

building in the MU-MS Zone District for a 13-unit hotel, restaurant and retail uses for the building located at 300, 302, and 304 E. Main Street with the following conditions:

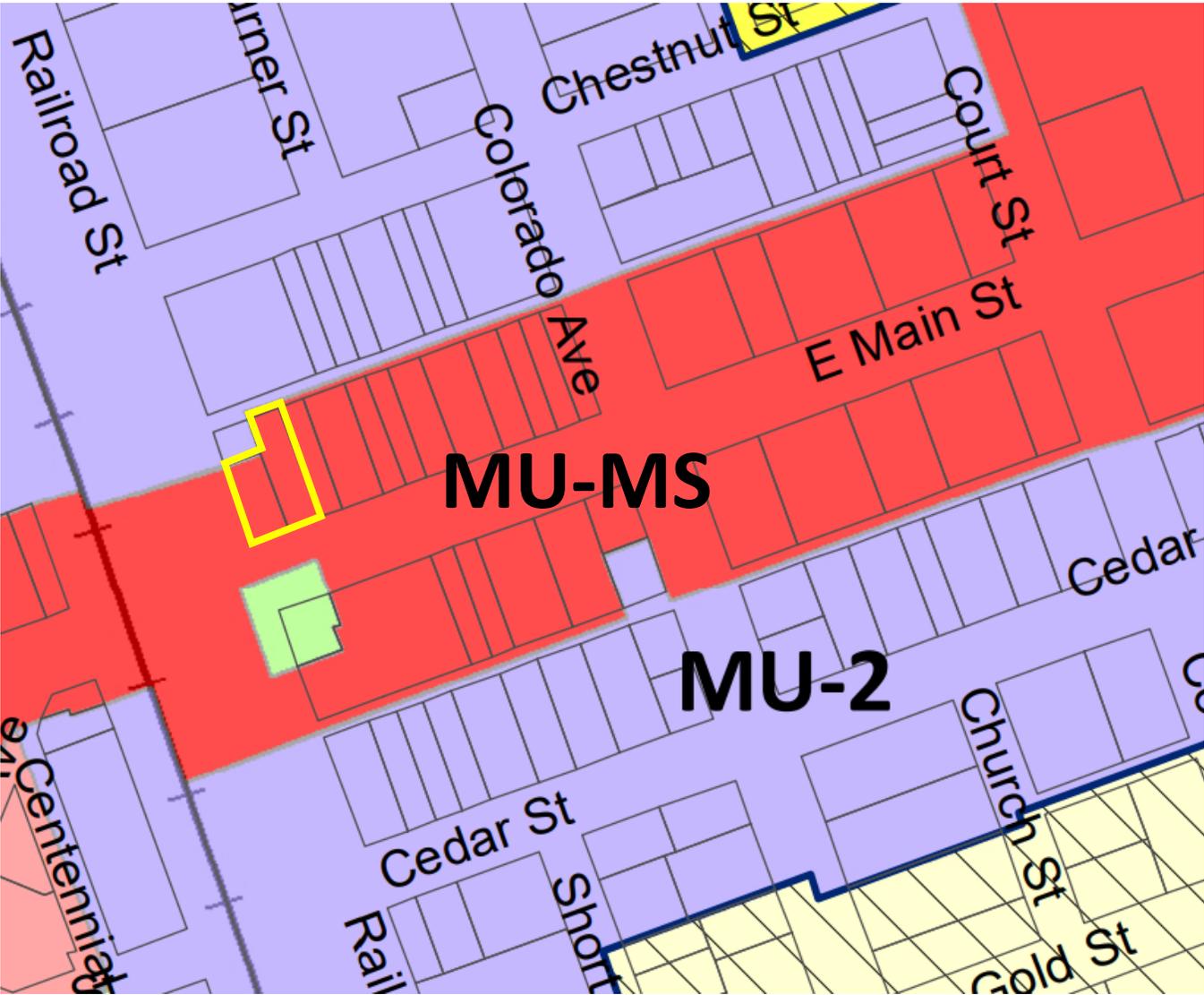
1. The Site Plan for the mixed-use building shall be corrected for any building code requirements that alter the proposed drawings before the Planning and Zoning Commission. Prior to a Certificate of Occupancy, all corrected drawings shall be digitally submitted to the Town for its records, including any changes from the approved Major Site Plan drawings.
2. The Major Site Plan approval is for the proposed uses and configuration as shown in the Application. Any changes in use shall be subject to the use requirements in effect at the time of any change of use. Prior to said changes of use, the Owner shall confirm with Town staff that the new uses are allowed per the Municipal Code requirements in effect at that time. Permitted uses will be allowed, and Special Uses will only be allowed after the proposed use obtains a Special Use Permit for such use.
3. Parking for the property shall not be limited to the building's tenants, whether it is the Town's rights-of-way in front of the building or leased area in the railroad right-of-way. Parking shall be open to the public on a first come-first serve basis. The Town has the authority to change parking spaces and/or configuration of parking within its rights-of-way at any time.
4. Prior to construction or installation of any encroachments from the building into the Town's rights-of-way, the Owner shall obtain Town approval of an encroachment permit and maintain the insurance for said encroachment permit on an annual basis.
5. Prior to a certificate of occupancy, the rooftop equipment for the kitchen shall be screened from the adjoining properties to the north of the alley to at least the height of the equipment.
6. Screening of trash and recycling areas shall be required to at least the same as the height of the dumpster or trash cans.
7. All lighting shall be downcast and shielded to comply with Town requirements, and shall be inspected and approved by the Town prior to the issuance of a certificate of occupancy, and if any lighting issues are identified, shall be corrected by the Owner to minimize light pollution.
8. All signs shall be installed after obtaining a sign permit meeting the Code in effect at the time of installation, including face changes of approved signs from previously approved tenant signage.
9. All commercial uses shall obtain and maintain a business license, prior and during commercial operations.

Cc: Cheryl Richmond, representative for Mt. Princeton Investments, LLC

Attachment A - Vicinity Map



Attachment B – Zoning Map



Attachment C – Site Photos



View North from Main Street of 300, 302, and 304 E. Main Street.



View East from Railroad Street of 300 E. Main Street.



View South from the alley toward 302 and 304 E Main Street.



View North of the adjoining properties from the alley.

Attachment D – Site Plan Set

See the following nine (9) sheets, titled “The Summit”, dated December 17, 2019 from Tim Pledger, Architect

THE SUMMIT

A SITE PLAN and SPECIAL USE PERMIT

A BUILDING RENOVATION OF

300/304 EAST MAIN STREET

LOT 33, BLOCK NO. 1- TOWN OF BUENA VISTA

AMENDMENT NO. 1

OWNER'S ACKNOWLEDGEMENT		
THE UNDERSIGNED IS THE OWNER (OR AUTHORIZED AGENT) OF THE PROPERTY AND HAS REVIEWED AND APPROVED THIS SITE PLAN. THE OWNER, HIS/HER SUCCESSORS, HEIRS AND ASSIGNS ARE RESPONSIBLE FOR MAINTAINING THIS SITE AS APPROVED, AND WILL KEEP ALL LANDSCAPING IN LIVING CONDITION IN THE QUANTITIES APPROVED IN THIS PLAN SET AS PER THE BUENA VISTA ZONING ORDINANCE.		
SIGNATURE _____	PRINTED NAME AND TITLE _____	DATE _____

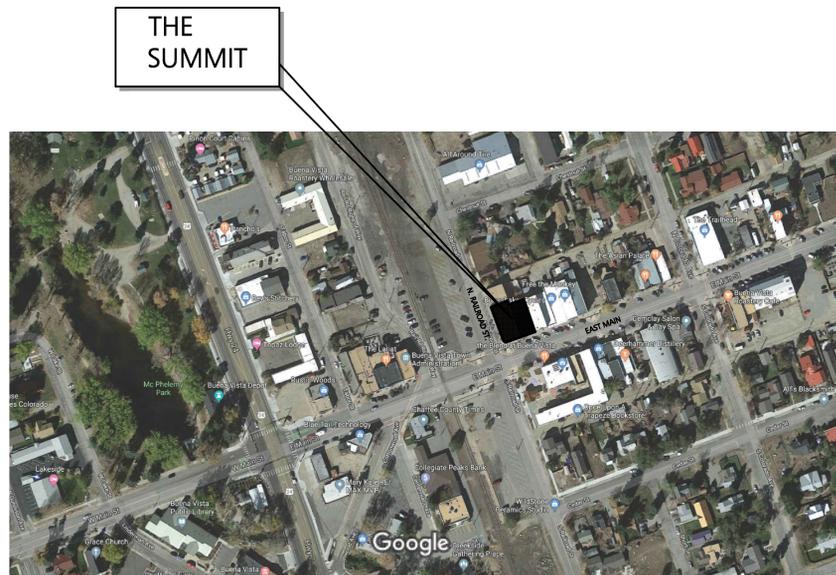
TOWN OF BUENA VISTA APPROVAL		
APPROVAL IS VALID FOR THREE (3) YEARS FROM THE DATE OF THE SIGNATURES BELOW. IF A BUILDING PERMIT IS NOT ISSUED IN THREE YEARS OF THE DATE OF APPROVAL, THIS SITE PLAN WILL BE VOID AND REQUIRE A NEW SITE PLAN APPROVAL SUBJECT TO THE REQUIREMENTS IN EFFECT AT THE TIME OF RESUBMITTAL.		
PLANNING APPROVAL _____	DATE _____	
PUBLIC WORKS APPROVAL _____	DATE _____	
TOWN ADMINISTRATOR APPROVAL _____	DATE _____	

Timothy G. Pleger R.A.

Timothy G. Pleger R.A.
118882 Monte Escondido Drive Buena Vista, CO 81211
T 719-395-5806 Cell: 602-826-1623

SCOPE OF WORK	UNDER SEPARATE PERMIT
DESCRIPTION: THIS PROJECT INCLUDES THE RENOVATION OF TWO EXISTING BUILDINGS, INCLUDING CORE & SHELL PREPARATION FOR NEW FUTURE TENANTS ON THE GROUND FLOOR (MERCANTILE AND RESTAURANT), AND BUILD-OUT OF SHORT TERM EFFICIENCY APARTMENTS ON THE SECOND FLOOR, PLUS ONE ADA ACCESSIBLE UNIT ON THE GROUND FLOOR. THE WORK SHALL INCLUDE ARCHITECTURAL AND ENGINEERING IMPROVEMENTS AS SHOWN ON THESE DRAWINGS AND SPECIFICATIONS. NEW ENTRY/EGRESS STAIRWAYS SHALL BE PROVIDED TO THE SECOND FLOOR. A COMPLETE FIRE SPRINKLER SYSTEM SHALL BE ADDED TO THE BUILDING. FIRE RATED FLOOR AND WALL ASSEMBLIES SHALL BE ADDED WHERE REQUIRED BY CODE.	DESCRIPTION: DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE ARCHITECT, ENGINEER AND OR OWNER FOR REVIEW AND COORDINATION PRIOR TO SEPARATE SUBMITTAL PER CBC, 1505.2. DEFERRED ITEMS ARE: 1. SIGNS 2. FIRE ALARMS SYSTEM 3. FIRE SPRINKLER
THE SCOPE OF THIS PROJECT INCLUDES: <input checked="" type="checkbox"/> BUILDING <input checked="" type="checkbox"/> PLUMBING <input checked="" type="checkbox"/> MECHANICAL <input checked="" type="checkbox"/> SPRINKLER <input checked="" type="checkbox"/> ELECTRICAL	

VICINITY MAP



BUENA VISTA, CO. NORTH

PROJECT DATA																					
1. PROJECT NAME: _____ THE SUMMIT - BUILDING RENOVATION 2. PROJECT DESCRIPTION: _____ RENOVATION OF TWO EXISTING BUILDINGS, CORE AND SHELL IMPROVEMENTS 3. PROJECT LOCATION: _____ 300/304 EAST MAIN STREET BUENA VISTA, CO 81211 4. GOVERNING CODES: _____ ALL WORK SHALL BE IN CONFORMANCE WITH BUT NOT LIMITED TO THE REQUIREMENTS OF THE FOLLOWING CODES AND AMENDMENTS: BUILDING: 2015 INTERNATIONAL BUILDING CODE MECHANICAL: 2015 INTERNATIONAL MECHANICAL CODE PLUMBING: 2015 INTERNATIONAL PLUMBING CODE ELECTRICAL: 2011 NATIONAL ELECTRICAL CODE FIRE: 2015 INTERNATIONAL FIRE CODE ENERGY: 2006 INTERNATIONAL ENERGY CONSERVATION CODE ACCESSIBILITY: CURRENT ADA 6. ZONING: _____ MIXED USE - MAINSTREET DISTRICT (MU-M) - CODE ARTICLE 16.2.4.4 7. AREA OF SITE/PROPERTY: _____ LOT 33 (NEW DESIGNATION) = +/- 7,442.1 S.F. (182 ACRES) 8. BLDG./ SPACE DATA:	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">TYPE OF CONSTRUCTION:</td> <td>V-B FULLY SPRINKLERED</td> </tr> <tr> <td>OCCUPANCY CLASSIFICATION:</td> <td>A-2 (RESTAURANT) M (MERCANTILE) R-1 (RESIDENTIAL)</td> </tr> <tr> <td>TOTAL BUILDING AREA:</td> <td>GROUND FLOOR: +/- 7,008 S.F. SECOND FLOOR: +/- 6,174 S.F. TOTAL: +/- 13,182 S.F.</td> </tr> <tr> <td>RESTAURANT</td> <td>2,880 SQ. FT. +/- 15 = 192</td> </tr> <tr> <td>MERCANTILE</td> <td>2,471 SQ. FT. +/- 60 = 41</td> </tr> <tr> <td>RESIDENTIAL (1ST FLR.)</td> <td>560 SQ. FT. +/- 200 = 3</td> </tr> <tr> <td>RESIDENTIAL (2ND FLR.)</td> <td>5,778 SQ. FT. +/- 200 = 29</td> </tr> <tr> <td>STORAGE / UTIL. / JAN.</td> <td>503 SQ. FT. +/- 300 = 2</td> </tr> <tr> <td>ACCESSORY USE (CIRCULATION, R.R.)</td> <td>990 SQ. FT. +/- 0 = 0</td> </tr> <tr> <td>TOTAL PLANNED OCCUPANT LOAD</td> <td>267</td> </tr> </table>	TYPE OF CONSTRUCTION:	V-B FULLY SPRINKLERED	OCCUPANCY CLASSIFICATION:	A-2 (RESTAURANT) M (MERCANTILE) R-1 (RESIDENTIAL)	TOTAL BUILDING AREA:	GROUND FLOOR: +/- 7,008 S.F. SECOND FLOOR: +/- 6,174 S.F. TOTAL: +/- 13,182 S.F.	RESTAURANT	2,880 SQ. FT. +/- 15 = 192	MERCANTILE	2,471 SQ. FT. +/- 60 = 41	RESIDENTIAL (1ST FLR.)	560 SQ. FT. +/- 200 = 3	RESIDENTIAL (2ND FLR.)	5,778 SQ. FT. +/- 200 = 29	STORAGE / UTIL. / JAN.	503 SQ. FT. +/- 300 = 2	ACCESSORY USE (CIRCULATION, R.R.)	990 SQ. FT. +/- 0 = 0	TOTAL PLANNED OCCUPANT LOAD	267
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9. ALLOWABLE BUILDING AREA: (PER TABLE 506.2) A-2 OCCUPANCY: (TYPE V-B, SM) 18,000 S.F. M OCCUPANCY: (TYPE V-B, SM) 21,000 S.F. R-1 OCCUPANCY: (TYPE V-B, SM) 21,000 S.F. EXIST. BUILDING AREA = 13,182 S.F. WHICH IS LESS THAN 18,000 S.F. O.K.																					
10. EXTERIOR WALL OPENINGS: (PER IBC SECTION 705.8 AND TABLE 705.8) A. FIRE RESISTIVE RATINGS FOR EXTERIOR BEARING WALL OF TYPE V-B CONSTRUCTION IS '0 HOURS' (PER TABLE 601) B. BUILDINGS WHOSE EXTERIOR BEARING WALLS...ARE NOT REQUIRED TO BE FIRE RESISTIVE RATED SHALL BE PERMITTED TO HAVE UNLIMITED, UNPROTECTED OPENINGS. (PER SECTION 705.8.1, EXCEPTION 2) C. THERE IS NO EXTERIOR WALL OPENING LIMIT IF FIRE SEPARATION DISTANCE EXCEEDS 30'. (PER TABLE 705.8) THE EXISTING BUILDING FRONTS PUBLIC RIGHT OF WAYS ON THREE SIDES, MAIN STREET, RAILROAD STREET AND AN ALLEYWAY. THE BUILDING WALLS EXCEED 30' DISTANCE/ SEPARATION FROM ANY OTHER STRUCTURES. THEREFORE PER ITEMS A, B & C ABOVE, THE AREA OF EXTERIOR WALL OPENINGS IS UNLIMITED.																					

INDEX OF DRAWINGS			
SHT	NAME	SHT	NAME
T	TITLE SHEET		
1	TOPOGRAPHICAL SURVEY PLAN		
ST-1	SITE PLAN		
D1.1	GROUND LEVEL DEMOLITION PLAN		
D1.2	SECOND LEVEL DEMOLITION PLAN		
A1.1	GROUND LEVEL FLOOR PLAN		
A2.1	SECOND LEVEL FLOOR PLAN		
A6.1	EXTERIOR ELEVATIONS		
A6.2	EXTERIOR ELEVATIONS		
A6.3	EXTERIOR ELEVATIONS		

PROJECT TEAM	
OWNER: _____ SHARON YOUNG MT. PRINCETON INVESTMENTS 1250 ELMRIDGE DRIVE DALLAS, TEXAS 75240 972-846-8240 sharonyoungTTT@gmail.com	
OWNER P.M.: _____ CHERYL RICHMOND 714-221-4707 cherylrichm@gmail.com	
ARCHITECT: _____ TIMOTHY G. PLEGER, ARCHITECT 18882 MONTE ESCONDIDO DRIVE BUENA VISTA, COLORADO 81211 CONTACT: TIMOTHY G. PLEGER - tpleger68@gmail.com TEL: 719-345-5806 CELL: 602-826-1623	
STRUCTURAL ENG.: _____ TIMOTHY G. PLEGER, ARCHITECT 18882 MONTE ESCONDIDO DRIVE BUENA VISTA, COLORADO 81211 CONTACT: TIMOTHY G. PLEGER - tpleger68@gmail.com TEL: 719-345-5806 CELL: 602-826-1623	
CONTRACTOR: _____ DIESSLIN STRUCTURES INC. 7625 N. HIGHWAY 50 SALIDA, COLORADO 81201 CONTACT: CLINT MAYS, SR. PROJECT MANAGER cmays@dieSSLINstructures.com TEL: 719-234-4008 CELL: 719-234-4256	

TITLE SHEET

SHEET NO. _____

PROJECT: THE SUMMIT - BUILDING RENOVATION SITE PLAN and SPECIAL USE PERMIT

300/304 East Main Street
Lot 33, Block No. 1 - Amendment No. 1
Buena Vista, CO 81211

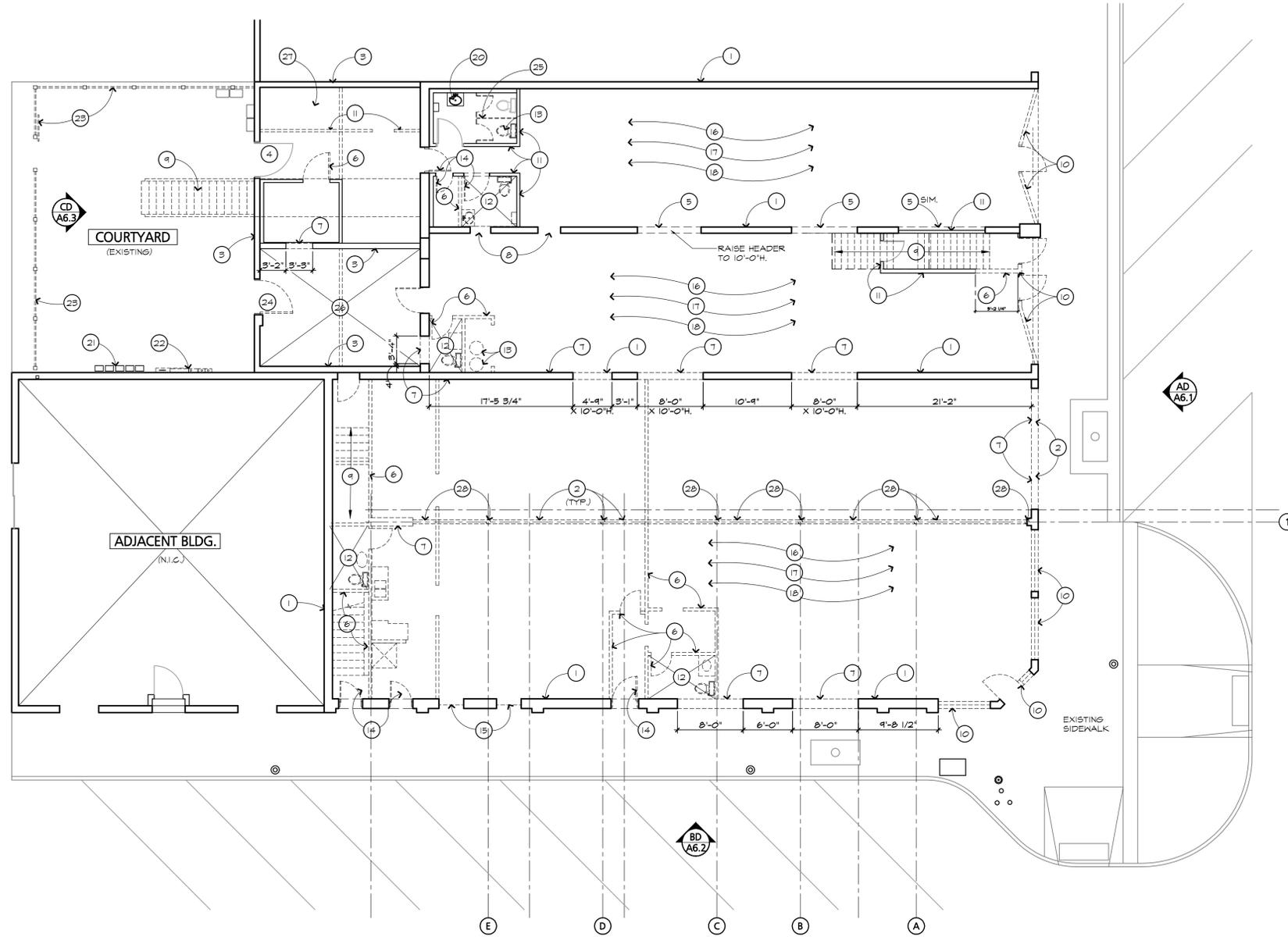
REVISIONS:

SEAL:

12-17-19

DATE: 12-17-19
DRAWN BY: TP
FILE NAME: TGP-009-T
PROJECT NUMBER: TGP-009

SHEET: T



1ST FLOOR DEMOLITION PLAN SCALE: 1/8" = 1'-0"

- ### GENERAL DEMOLITION NOTES
1. GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL REVIEW THE EXISTING FACILITY TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED TO INSTALL THE NEW WORK.
 2. ANY UN NOTED EXISTING CONDITION WHICH CONFLICTS WITH THE PROJECT REQUIREMENTS AND MAY REQUIRE MODIFICATION, RELOCATING, OR REMOVAL TO COMPLETE THE PROJECT SHALL BE IDENTIFIED SO THE NECESSARY DRAWING REVISIONS MAY BE INCORPORATED INTO THE PROJECT REQUIREMENTS.
 3. CARE SHALL BE TAKEN DURING DEMOLITION SO AS NOT TO DAMAGE OR ALTER ANY EXISTING STRUCTURAL MEMBERS. THE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY IF ANY DAMAGE OCCURS OR IS DISCLOSED DURING DEMOLITION.
 4. IN ALL WALLS AND CEILINGS THAT ARE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING AT SOURCE AND REMOVING OR CAPPING ANY ELECTRICAL, PLUMBING, GAS LINES AND MECHANICAL DUCTWORK THAT IS DISCLOSED AND NOT SCHEDULED FOR REUSE. REMOVE AND CONTINUE ANY SYSTEM THAT MUST BE RETAINED FOR ADJACENT BUILDING AREAS THAT ARE NOT IN THIS CONTRACT.
 5. ALL ELECTRICAL CIRCUITS FOR EQUIPMENT THAT IS TO BE REMOVED SHALL BE DISCONNECTED AT SOURCE AND REMOVED.
 6. ALL GAS, WATER AND DRAIN LINES SUPPLYING EQUIPMENT THAT IS TO BE REMOVED SHALL BE DISCONNECTED, REMOVED AND CAPPED ABOVE CEILING OR BELOW FLOOR. IF CONTINUITY OF SYSTEM MUST BE MAINTAINED FOR USE BY ADJACENT AREAS, CONTRACTOR SHALL REROUTE AS NECESSARY TO BE BEHIND NEW CONSTRUCTION. (PATCH FLOOR BACK PRIOR TO TOPPING.)
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FROM THE SITE, ALL RUBBLE AND DEBRIS CAUSED BY DEMOLITION, AND DISPOSING OF IT IN A PROPER MANNER.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ITEMS NOT SPECIFICALLY MENTIONED, BUT NECESSARY TO BE REMOVED, FOR INSTALLATION OF NEW WORK AS SHOWN OR DESCRIBED IN THESE DRAWINGS.

- ### KEYED DEMOLITION NOTES
- 1 EXIST. BRICK WALL OF BUILDING TO REMAIN.
 - 2 EXISTING STEEL COLUMNS TO REMAIN (TYPICAL)
 - 3 EXIST. MASONRY WALL OF BUILDING TO REMAIN.
 - 4 EXISTING SERVICE DOOR TO REMAIN. REFURBISH AS SHOWN ON PLANS AND SCHEDULES.
 - 5 EXISTING WALL OPENINGS TO REMAIN. RAISE HEADER HEIGHT AS SHOWN. REINFORCE AND REPAIR AS SHOWN ON STRUCTURAL DWGS.
 - 6 REMOVE EXISTING INTERIOR PARTITIONS AND/OR DOORS AS SHOWN. (TYPICAL WHERE SHOWN DASHED)
 - 7 SAWCUT AND REMOVE PORTION OF EXISTING BRICK/MASONRY WALL AS SHOWN. REFER TO STRUCTURAL DWGS. FOR REINFORCING AND SUPPORT REQUIREMENTS.
 - 8 EXIST. DOOR OPENING TO REMAIN.
 - 9 REMOVE EXISTING STAIRS IN THEIR ENTIRETY.
 - 10 REMOVE EXIST. STOREFRONTS IN THEIR ENTIRETY UP TO EXIST. STRUCTURE ABOVE. VERIFY EXACT HEIGHTS OF STOREFRONT AND INFILL.
 - 11 EXIST. INTERIOR PARTITION TO REMAIN
 - 12 REMOVE EXIST. RESTROOM IN ITS' ENTIRETY.
 - 13 REMOVE EXIST. PLUMBING FIXTURES AS SHOWN
 - 14 REMOVE EXISTING DOOR AND FRAME IN ITS' ENTIRETY
 - 15 REMOVE EXISTING WINDOW AND FRAME IN ITS' ENTIRETY
 - 16 EXISTING WOOD FLOOR AND STRUCTURE SHALL BE THOROUGHLY INSPECTED BY A STRUCTURAL ENGINEER TO DETERMINE ITS' STRUCTURAL INTEGRITY. REPLACE, REPAIR AND/OR REINFORCE AS NECESSARY AND AS DETERMINED BY THE ENGINEER IN ORDER TO BRING THE STRUCTURE UP TO CODE REQUIREMENTS AND TO PUT IT IN GOOD CONDITION. (TYPICAL THROUGH-OUT)
 - 17 REMOVE ALL EXISTING AND ABANDONED PIPES, CONDUITS, WIRES ABOVE IN THEIR ENTIRETY.
 - 18 REMOVE EXISTING LATH AND PLASTER FROM UNDERSIDE OF WOOD FLOOR STRUCTURE ABOVE. (TYPICAL THROUGH-OUT)
 - 19 REMOVE PORTION OF EXISTING FLOOR STRUCTURE AS NECESSARY FOR NEW STAIR OPENING. REFER TO STRUCTURAL DWGS. FOR FRAMING AND SUPPORT REQUIREMENTS.
 - 20 EXIST. SINK AND VANITY TO REMAIN FOR FUTURE TENANT.
 - 21 EXIST. GAS SERVICE AND METERS TO BE MODIFIED AS NECESSARY FOR NEW BUILDING AND TENANT USES. SEE PLUMBING PLANS FOR SPECIFIC REQUIREMENTS. ALL ABANDONED AND UNUSED PIPING SHALL BE REMOVED FROM THE BUILDING. NOTE: GAS SERVICE TO THE ADJACENT BLDG., IF EXISTING, SHALL REMAIN IN PLACE.
 - 22 EXIST. ELECTRIC SERVICE AND METERS SERVING BLDGS. 300/304 E. MAIN SHALL BE REMOVED IN THEIR ENTIRETY AND REPLACED WITH A NEW SERVICE FOR NEW BUILDING AND TENANT USES. SEE ELECTRICAL PLANS FOR SPECIFIC REQUIREMENTS. ALL ABANDONED AND UNUSED CONDUITS AND WIRING SHALL BE REMOVED FROM THE BUILDING. NOTE: ELECTRICAL SERVICE TO THE ADJACENT BLDG. SHALL REMAIN IN PLACE.
 - 23 REMOVE EXIST. FENCE IN ITS' ENTIRETY. SAVE FOR POSSIBLE RE-USE.
 - 24 REMOVE EXISTING DOOR AND FRAME IN ITS' ENTIRETY. RAISE DOOR HEADER APPROX. 6" TO ACCOMMODATE NEW RAISED SLAB AND RAISE DOOR ACCORDINGLY.
 - 25 REMOVE EXIST. TOILET PARTITIONS IN THEIR ENTIRETY.
 - 26 REMOVE EXIST. CONC. SLAB FOR FUTURE TENANT IMPROVEMENTS. COORDINATE W/ TENANT.
 - 27 EXIST. CONC. SLAB TO REMAIN "AS-IS".
 - 28 REMOVE EXIST. COLUMNS AND OVERHEAD BEAM AS SHOWN. PROVIDE TEMPORARY SHORING AND STRUCTURE NECESSARY TO SUPPORT THE STRUCTURE ABOVE UNTIL THE PERMANENT STRUCTURE IS IN PLACE. (REFER TO STRUCTURAL DRAWINGS)

- ### GENERAL SCOPE OF WORK
1. EXISTING INTERIOR SPACE SHALL BE CLEARED AS SHOWN TO CREATE A NEW 'GREY SHELL' SPACE FOR NEW TENANTS.
REMOVE INTERIOR WALLS, CEILINGS, FINISHES, FIXTURES, APPLIANCES, DUCTWORK, ELECTRICAL CIRCUITRY, PLUMBING, ETC. AS SHOWN, DOWN TO EXISTING BASE BUILDING AND STRUCTURAL COMPONENTS.
 2. CAP ALL ABANDONED UTILITIES AT SOURCE.
 3. AREA OF NEW LEASEHOLD SHALL BE LEFT IN BROOM CLEAN CONDITION READY FOR NEW TENANT IMPROVEMENTS.

Timothy G. Pleger R.A.
 Timothy G. Pleger R.A.
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 T 719-395-5806 Cell: 602-826-1623

1ST FLOOR DEMO. PLAN

PROJECT: THE SUMMIT - BUILDING RENOVATION SITE PLAN and SPECIAL USE PERMIT

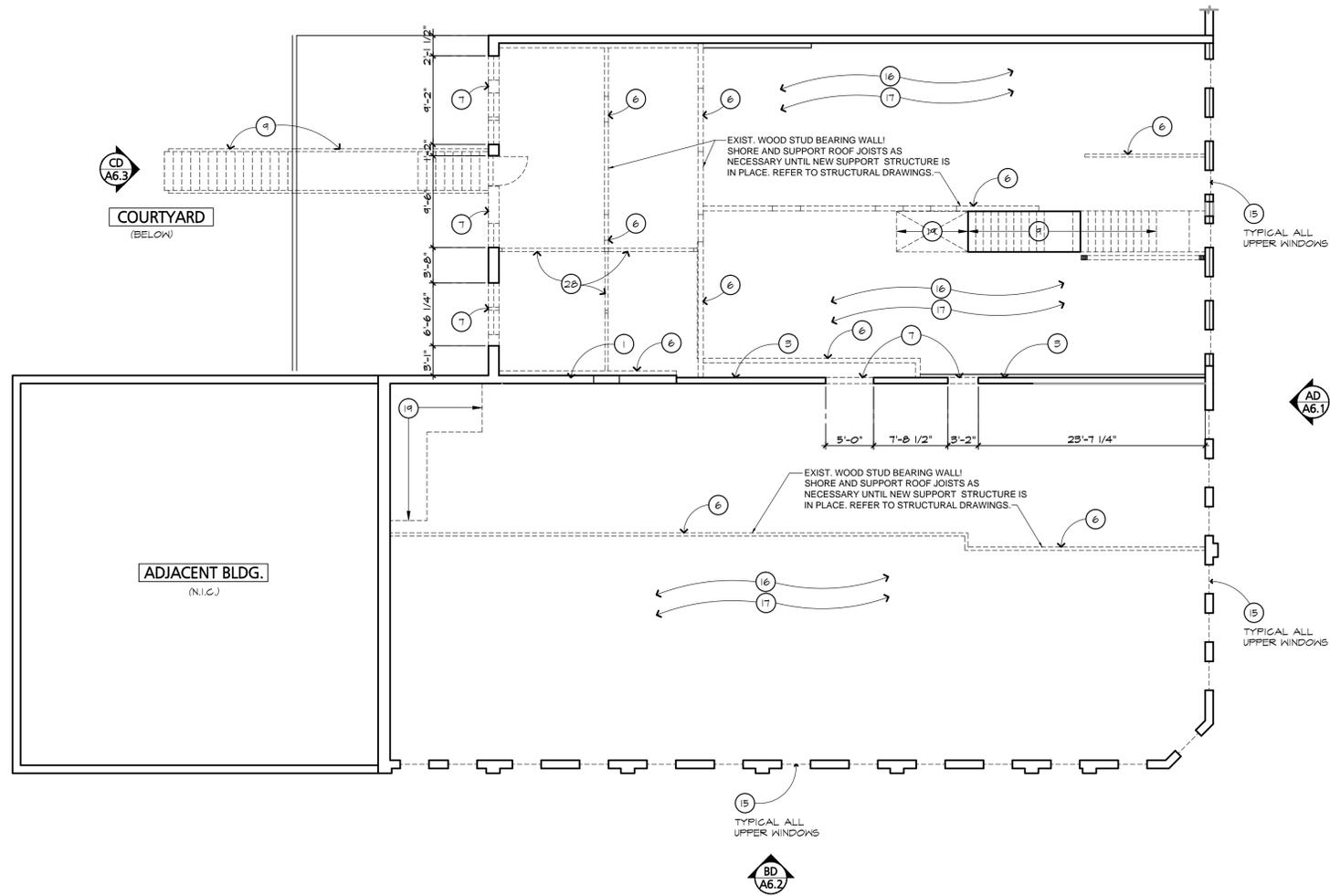
300/304 East Main Street
 Lot 33, Block No. 1 - Amendment No. 1
 Buena Vista, CO 81211

REVISIONS:
 12-17-19 ADDENDUM NO.1



DATE: 12-17-19
 DRAWN BY: TP
 FILE NAME: TGP-009-D1.1
 PROJECT NUMBER: TGP-009

D1.1



2ND FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

1. GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL REVIEW THE EXISTING FACILITY TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED TO INSTALL THE NEW WORK.
2. ANY UN NOTED EXISTING CONDITION WHICH CONFLICTS WITH THE PROJECT REQUIREMENTS AND MAY REQUIRE MODIFICATION, RELOCATING, OR REMOVAL TO COMPLETE THE PROJECT SHALL BE IDENTIFIED SO THE NECESSARY DRAWING REVISIONS MAY BE INCORPORATED INTO THE PROJECT REQUIREMENTS.
3. CARE SHALL BE TAKEN DURING DEMOLITION SO AS NOT TO DAMAGE OR ALTER ANY EXISTING STRUCTURAL MEMBERS. THE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY IF ANY DAMAGE OCCURS OR IS DISCLOSED DURING DEMOLITION.
4. IN ALL WALLS AND CEILINGS THAT ARE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING AT SOURCE AND REMOVING OR CAPPING ANY ELECTRICAL, PLUMBING, GAS LINES AND MECHANICAL DUCTWORK THAT IS DISCLOSED AND NOT SCHEDULED FOR REUSE. REMOVE AND CONTINUE ANY SYSTEM THAT MUST BE RETAINED FOR ADJACENT BUILDING AREAS THAT ARE NOT IN THIS CONTRACT.
5. ALL ELECTRICAL CIRCUITS FOR EQUIPMENT THAT IS TO BE REMOVED SHALL BE DISCONNECTED AT SOURCE AND REMOVED.
6. ALL GAS, WATER AND DRAIN LINES SUPPLYING EQUIPMENT THAT IS TO BE REMOVED SHALL BE DISCONNECTED, REMOVED AND CAPPED ABOVE CEILING OR BELOW FLOOR. IF CONTINUITY OF SYSTEM MUST BE MAINTAINED FOR USE BY ADJACENT AREAS, CONTRACTOR SHALL REROUTE AS NECESSARY TO BE BEHIND NEW CONSTRUCTION. (PATCH FLOOR BACK PRIOR TO TOPPING.)
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FROM THE SITE, ALL RUBBLE AND DEBRIS CAUSED BY DEMOLITION, AND DISPOSING OF IT IN A PROPER MANNER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ITEMS NOT SPECIFICALLY MENTIONED, BUT NECESSARY TO BE REMOVED, FOR INSTALLATION OF NEW WORK AS SHOWN OR DESCRIBED IN THESE DRAWINGS.

KEYED DEMOLITION NOTES

- 1 EXIST. BRICK WALL OF BUILDING TO REMAIN.
- 2 EXISTING STEEL COLUMNS TO REMAIN (TYPICAL)
- 3 EXIST. MASONRY WALL OF BUILDING TO REMAIN.
- 4 EXISTING SERVICE DOOR TO REMAIN. REFURBISH AS SHOWN ON PLANS AND SCHEDULES.
- 5 EXISTING WALL OPENINGS TO REMAIN. RAISE HEADER HEIGHT AS SHOWN. REINFORCE AND REPAIR AS SHOWN ON STRUCTURAL DWGS.
- 6 REMOVE EXISTING INTERIOR PARTITIONS AND/OR DOORS AS SHOWN. (TYPICAL WHERE SHOWN DASHED)
- 7 SANGUT AND REMOVE PORTION OF EXISTING BRICK/MASONRY WALL AS SHOWN. REFER TO STRUCTURAL DWGS. FOR REINFORCING AND SUPPORT REQUIREMENTS.
- 8 EXIST. DOOR OPENINGS TO REMAIN.
- 9 REMOVE EXISTING STAIRS IN THEIR ENTIRETY
- 10 REMOVE EXIST. STOREFRONTS IN THEIR ENTIRETY UP TO EXIST. STRUCTURE ABOVE. VERIFY EXACT HEIGHTS OF STOREFRONT AND INFILL.
- 11 EXIST. INTERIOR PARTITION TO REMAIN
- 12 REMOVE EXIST. RESTROOM IN ITS' ENTIRETY.
- 13 REMOVE EXIST. PLUMBING FIXTURES AS SHOWN
- 14 REMOVE EXISTING DOOR AND FRAME IN ITS' ENTIRETY
- 15 REMOVE EXISTING WINDOW AND FRAME IN ITS' ENTIRETY
- 16 EXISTING WOOD FLOOR AND STRUCTURE SHALL BE THOROUGHLY INSPECTED BY A STRUCTURAL ENGINEER TO DETERMINE ITS' STRUCTURAL INTEGRITY. REPLACE, REPAIR AND/OR REINFORCE AS NECESSARY AND AS DETERMINED BY THE ENGINEER IN ORDER TO BRING THE STRUCTURE UP TO CODE REQUIREMENTS AND TO PUT IT IN GOOD CONDITION. (TYPICAL THROUGH-OUT)
- 17 REMOVE ALL EXISTING AND ABANDONED PIPES, CONDUITS, WIRES ABOVE IN THEIR ENTIRETY.
- 18 REMOVE EXISTING LATH AND PLASTER FROM UNDERSIDE OF WOOD FLOOR STRUCTURE ABOVE. (TYPICAL THROUGH-OUT)
- 19 REMOVE PORTION OF EXISTING FLOOR STRUCTURE AS NECESSARY FOR NEW STAIR OPENING. REFER TO STRUCTURAL DWGS. FOR FRAMING AND SUPPORT REQUIREMENTS.
- 20 EXIST. SINK AND VANITY TO REMAIN FOR FUTURE TENANT.
- 21 EXIST. GAS SERVICE AND METERS TO BE MODIFIED AS NECESSARY FOR NEW BUILDING AND TENANT USES. SEE PLUMBING PLANS FOR SPECIFIC REQUIREMENTS. ALL ABANDONED AND UNUSED PIPING SHALL BE REMOVED FROM THE BUILDING. NOTE: GAS SERVICE TO THE ADJACENT BLDG., IF EXISTING, SHALL REMAIN IN PLACE.
- 22 EXIST. ELECTRIC SERVICE AND METERS SERVING BLDGS. 300/304 E. MAIN SHALL BE REMOVED IN THEIR ENTIRETY AND REPLACED WITH A NEW SERVICE FOR NEW BUILDING AND TENANT USES. SEE ELECTRICAL PLANS FOR SPECIFIC REQUIREMENTS. ALL ABANDONED AND UNUSED CONDUITS AND WIRING SHALL BE REMOVED FROM THE BUILDING. NOTE: ELECTRICAL SERVICE TO THE ADJACENT BLDG. SHALL REMAIN IN PLACE.
- 23 REMOVE EXIST. FENCE IN ITS' ENTIRETY. SAVE FOR POSSIBLE RE-USE.
- 24 REMOVE EXISTING DOOR AND FRAME IN ITS' ENTIRETY. RAISE DOOR HEADER APPROX. 6" TO ACCOMMODATE NEW RAISED SLAB AND RAISE DOOR ACCORDINGLY.
- 25 REMOVE EXIST. TOILET PARTITIONS IN THEIR ENTIRETY.
- 26 REMOVE EXIST. CONC. SLAB FOR FUTURE TENANT IMPROVEMENTS. COORDINATE W/ TENANT.
- 27 EXIST. CONC. SLAB TO REMAIN "AS-IS".
- 28 REMOVE EXIST. COLUMNS AND OVERHEAD BEAM AS SHOWN. PROVIDE TEMPORARY SHORING AND STRUCTURE NECESSARY TO SUPPORT THE STRUCTURE ABOVE UNTIL THE PERMANENT STRUCTURE IS IN PLACE. (REFER TO STRUCTURAL DRAWINGS)

GENERAL SCOPE OF WORK

1. EXISTING SPACE SHALL BE GUTTED IN ITS' ENTIRETY TO CREATE A CLEAN SPACE FOR NEW PLANNED IMPROVEMENTS AS SHOWN IN THESE DRAWINGS. REMOVE ALL INTERIOR WALLS, CEILINGS, FINISHES, FIXTURES, APPLIANCES, DUCTWORK, ELECTRICAL CIRCUITRY, ETC., DOWN TO EXISTING BASE BUILDING AND STRUCTURAL COMPONENTS.
2. CAP ALL ABANDONED UTILITIES AT SOURCE.

Timothy G. Pleger R.A.

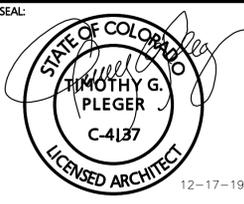
Timothy G. Pleger R.A.
118882 Monte Escondido Drive Buena Vista, CO 81211
T 719-395-5806 Cell: 602-826-1623

2ND FLOOR DEMO. PLAN

THE SUMMIT - BUILDING RENOVATION
SITE PLAN and SPECIAL USE PERMIT

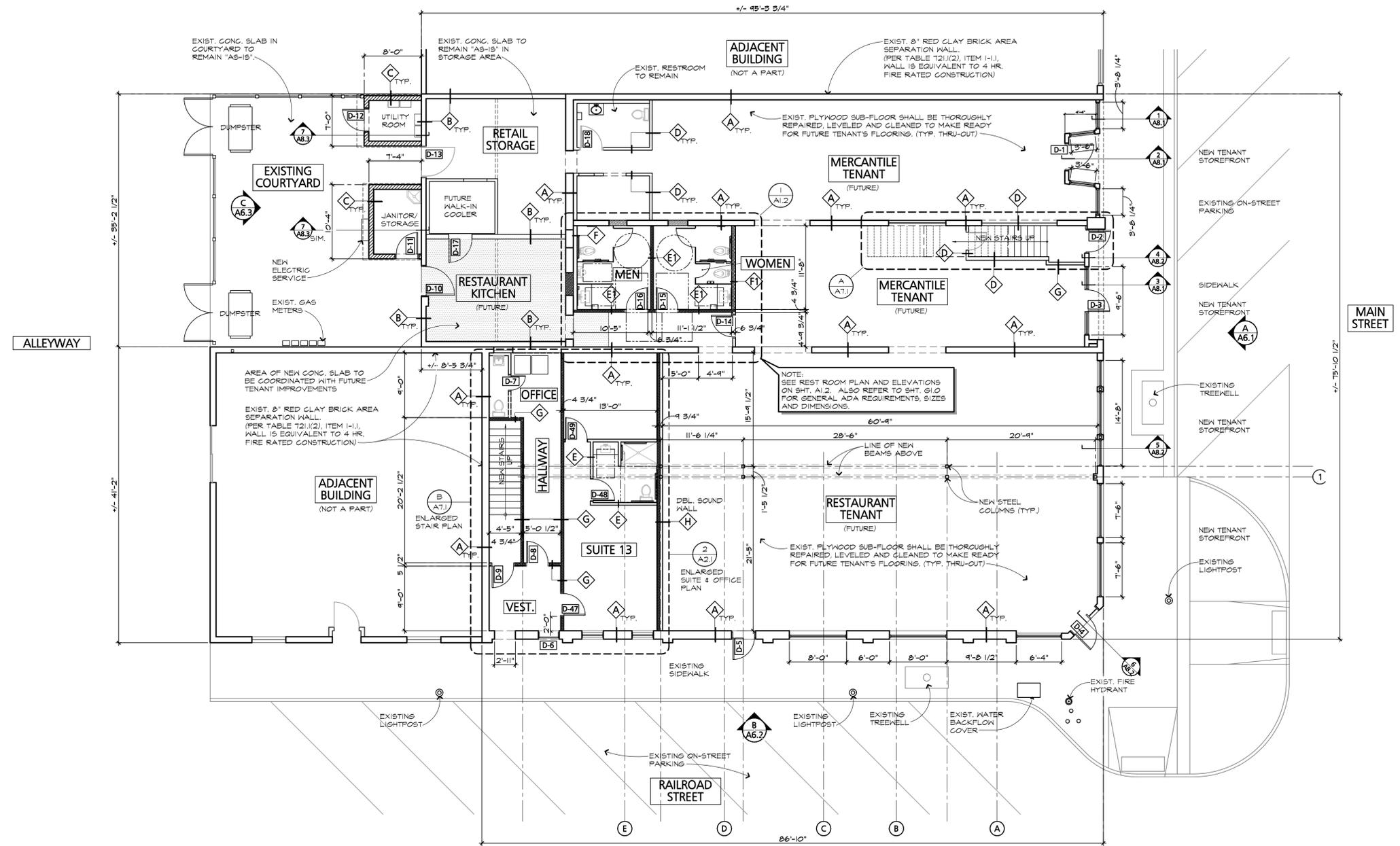
300/304 East Main Street
Lot 33, Block No. 1 - Amendment No. 1
Buena Vista, CO 81211

REVISIONS:
12-17-19 ADDENDUM NO.1



DATE: 12-17-19
DRAWN BY: TP
FILE NAME: TGP-009-D1.2
PROJECT NUMBER: TGP-009

D1.2



DIMENSIONED FLOOR PLAN

SCALE: 1/8" = 1'-0"

WALL LEGEND

KEY	SYMBOL	DESCRIPTION	KEY	SYMBOL	DESCRIPTION
A	[Symbol]	EXISTING BRICK WALL EXISTING BRICK WALL G.C. TO CLEAN AND REPAIR/REPOINT AS NECESSARY. SEAL INTERIOR SURFACE WITH A CLEAR PENETRATING SEALER.	F	[Symbol]	NEW NON-BEARING INTERIOR PARTITION 5/8" TYPE 'X' GYP. BD. ON BOTH SIDES (U.N.O.) OF 2X6 WOOD STUDS @ 16" O.C..
B	[Symbol]	EXISTING MASONRY WALL EXISTING 8" CMU WALL. G.C. TO PREPARE WALL AS REQUIRED FOR NEW FINISHES. SEE INTERIOR ELEVATIONS.	FI	[Symbol]	NEW NON-BEARING INTERIOR PARTITION SAME AS PARTITION 'F' EXCEPT WITH 6" BATT INSULATION
C	[Symbol]	NEW EXTERIOR WALL NEW 8" CMU WALL	G	[Symbol]	NEW 1 HOUR FIRE RATED INTERIOR PARTITION 5/8" TYPE 'X' GYP. BD. ON BOTH SIDES OF 2X4 WOOD STUDS @ 16" O.C.. FIRETAPE ALL JOINTS. (UL DESIGN #805) (INSULATE WITH R-11 BATT INSULATION WHERE SHOWN)
D	[Symbol]	EXISTING INTERIOR PARTITION EXISTING DRYWALL ON WOOD STUD FRAMING. (TO REMAIN 'AS-IS')	GI	[Symbol]	NEW 1 HOUR FIRE RATED INTERIOR PARTITION SAME AS PARTITION 'E' EXCEPT WITH 2X6 STUDS. (INSULATE WITH R-11 BATT INSULATION WHERE SHOWN)
E	[Symbol]	NEW NON-BEARING INTERIOR PARTITION 5/8" TYPE 'X' GYP. BD. ON BOTH SIDES (U.N.O.) OF 2X4 WOOD STUDS @ 16" O.C..	H	[Symbol]	RESIDENT SIDE RESTAURANT SIDE NEW NON-BEARING DBL. INTERIOR ACOUSTIC SOUND WALL 2 LAYERS 5/8" TYPE 'X' GYP. BD. ON ONE SIDE OF 2X4 WOOD STUDS @ 16" O.C.. 1/2" MINERAL WOOL BATT INSUL. 1" AIR GAP BETWEEN TWO WALLS. 1 LAYER 5/8" TYPE 'X' GYP. BD. OVER 2X4 STUDS @ 16" O.C. CAULK WALLS @ TOP & BOTTOM BOTH SIDES.
E1	[Symbol]	NEW NON-BEARING INTERIOR PARTITION SAME AS PARTITION 'E' EXCEPT R-11 BATT INSULATION	I	[Symbol]	FURRED WALL 5/8" TYPE 'X' GYP. BD. ON 2X2 WOOD FURRING STRIPS @ 16" O.C.. OVER EXIST. MASONRY OR BRICK WALL
<p>WALLS IN WET AREAS: PROVIDE BOTTOM 24" OF ALL WALLS IN WET AREAS (KITCHEN, RESTROOMS, DISH WASH, ETC.) WITH DURAROCK AND OR CEMENT BOARD.</p>			J	[Symbol]	FURRED WALL SAME AS 'I' EXCEPT WITH 2X6 WOOD STUDS
			K	[Symbol]	EXISTING BRICK VENEER WALL EXIST. BRICK VENEER OVER 2X6 FRAMED WALL. INSULATE WITH R-21 BATT INSUL. AND ADD 5/8" TYPE 'X' GYP. BD. ON INSIDE FACE.

STOREFRONT SPECIFICATION

1 "SOLARBAN 60 (2) STARPHIRE + STARPHIRE" BY PPG INDUSTRIES, INC., INSULATING UNIT CONSTRUCTION: 1/4" STARPHIRE GLASS W/ SOLARBAN 60 SOLAR CONTROL (SPUTTERED ON SECOND SURFACE(2)), + 1/2" AIR SPACE, + 1/4" STARPHIRE FLOAT GLASS.
(NOTE: INTERIOR SPACERS SHALL BE GRAY IN COLOR)

V-VALUE WINTER NIGHT TIME: 0.24
V-VALUE SUMMER DAYTIME: 0.27
SHADING COEFFICIENT: 0.45
SOLAR HEAT GAIN COEFFICIENT: 0.41

NOTE:
* ALL ALUMINUM STOREFRONT FRAMING SHALL BE KAWNEER TRI-FAB451-T, THERMALLY BROKEN, W/ 1" DOUBLE PANE GLAZING.
FINISH: BLACK ANODIZED ALUMINUM

Timothy G. Pleger R.A.

DIMENSION FLOOR PLAN

**THE SUMMIT - BUILDING RENOVATION
SITE PLAN and SPECIAL USE PERMIT**

REVISIONS:

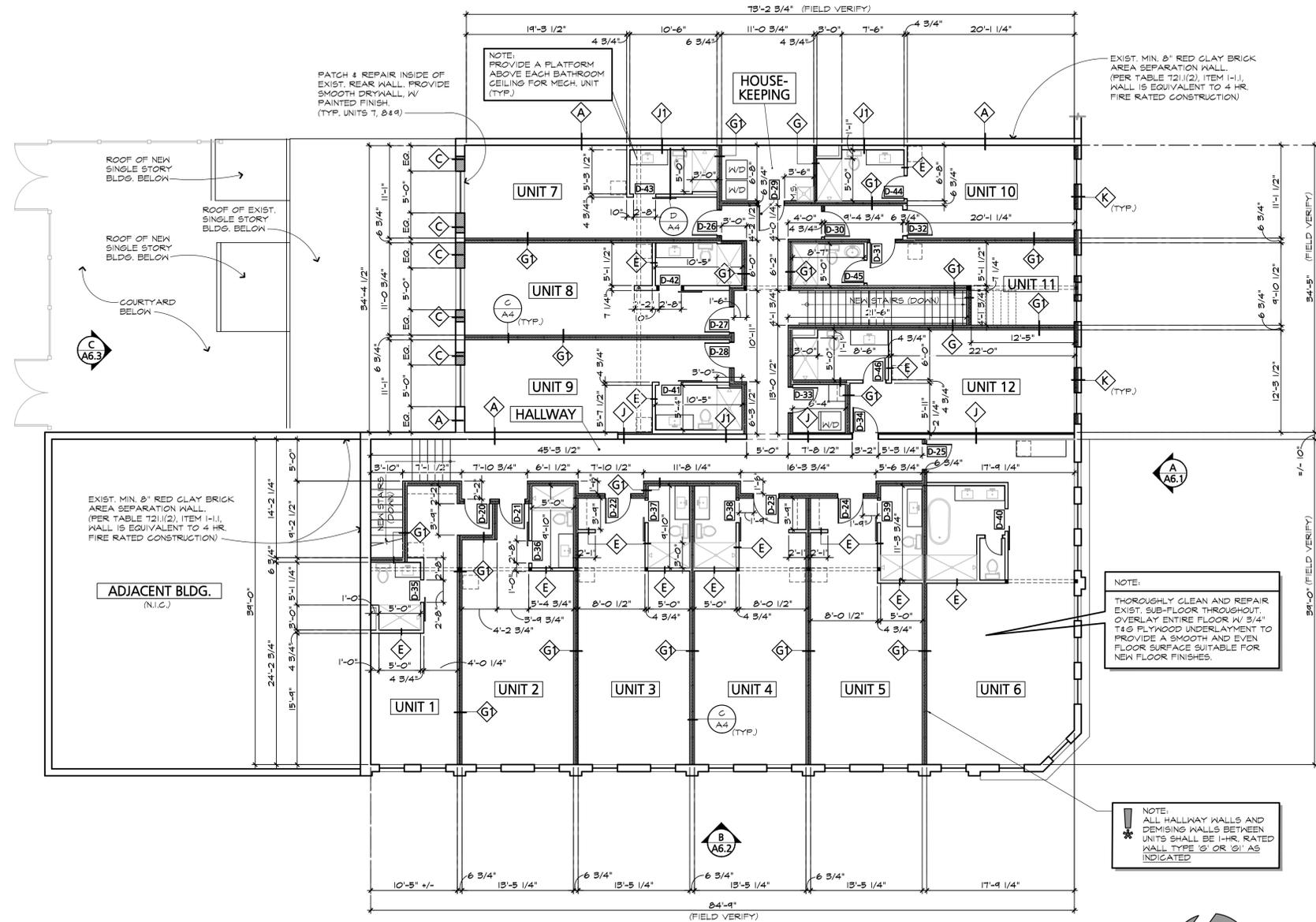
12-17-19 ADDENDUM NO. 1

STATE OF COLORADO
TIMOTHY G. PLEGER
C-4137
LICENSED ARCHITECT

DATE: 12-17-19
DRAWN BY: TP
FILE NAME: TGP-009-A1.1
PROJECT NUMBER: TGP-009

A1.1

Timothy G. Pleger R.A.
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T 719-395-5806 Cell: 602-826-1623
Buena Vista, CO 81211



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



WALL LEGEND			WALL LEGEND		
KEY	SYMBOL	DESCRIPTION	KEY	SYMBOL	DESCRIPTION
A	[Symbol]	EXISTING BRICK WALL. EXISTING BRICK WALL. G.C. TO CLEAN AND REPAIR/REPOINT AS NECESSARY. SEAL INTERIOR SURFACE WITH A CLEAR PENETRATING SEALER.	F	[Symbol]	NEW NON-BEARING INTERIOR PARTITION. 5/8" TYPE 'X' GYP. BD. ON BOTH SIDES (U.N.O.) OF 2X6 WOOD STUDS @ 16" O.C.
B	[Symbol]	EXISTING MASONRY WALL. EXISTING 8" CMU WALL. G.C. TO PREPARE WALL AS REQUIRED FOR NEW FINISHES. SEE INTERIOR ELEVATIONS.	F1	[Symbol]	NEW NON-BEARING INTERIOR PARTITION. SAME AS PARTITION 'F' EXCEPT WITH 6" BATT INSULATION.
C	[Symbol]	NEW EXTERIOR WALL. NEW 8" CMU WALL.	G	[Symbol]	NEW 1 HOUR FIRE RATED INTERIOR PARTITION. 5/8" TYPE 'X' GYP. BD. ON BOTH SIDES OF 2X4 WOOD STUDS @ 16" O.C. FIRETAPE ALL JOINTS. (UL DESIGN #1805) (INSULATE WITH R-11 BATT INSULATION WHERE SHOWN).
D	[Symbol]	EXISTING INTERIOR PARTITION. EXISTING DRYWALL ON WOOD STUD FRAMING. (TO REMAIN 'AS-IS').	G1	[Symbol]	NEW 1 HOUR FIRE RATED INTERIOR PARTITION. SAME AS PARTITION 'E' EXCEPT WITH 2X6 STUDS. (INSULATE WITH R-11 BATT INSULATION WHERE SHOWN).
E	[Symbol]	NEW NON-BEARING INTERIOR PARTITION. 5/8" TYPE 'X' GYP. BD. ON BOTH SIDES (U.N.O.) OF 2X4 WOOD STUDS @ 16" O.C.	H	[Symbol]	RESIDENT SIDE. RESTAURANT SIDE. NEW NON-BEARING DBL. INTERIOR ACOUSTIC SOUND WALL. 2 LAYERS 5/8" TYPE 'X' GYP. BD. ON ONE SIDE OF 2X4 WOOD STUDS @ 16" O.C. W/ 3/2" MINERAL WOOL BATT INSUL. 1" AIR GAP BETWEEN TWO WALLS. 1 LAYER 5/8" TYPE 'X' GYP. BD. OVER 2X4 STUDS @ 16" O.C. CAULK WALLS @ TOP & BOTTOM BOTH SIDES.
E1	[Symbol]	NEW NON-BEARING INTERIOR PARTITION. SAME AS PARTITION 'E' EXCEPT R-11 BATT INSULATION.	J	[Symbol]	FURRED WALL. 5/8" TYPE 'X' GYP. BD. ON 2X2 WOOD FURRING STRIPS @ 16" O.C. OVER EXIST. MASONRY OR BRICK WALL.
WALLS IN WET AREAS. PROVIDE BOTTOM 24" OF ALL WALLS IN WET AREAS (KITCHEN, RESTROOMS, DISH WASH, ETC.) WITH DURAROCK AND OR CEMENT BOARD.			J1	[Symbol]	FURRED WALL. SAME AS 'J' EXCEPT WITH 2X6 WOOD STUDS.
			K	[Symbol]	EXISTING BRICK VENEER WALL. EXIST. BRICK VENEER OVER 2X6 FRAMED WALL. INSULATE WITH R-21 BATT INSUL. AND ADD 5/8" TYPE 'X' GYP. BD. ON INSIDE FACE.

NOTE: ALL HALLWAY WALLS AND DEMISING WALLS BETWEEN UNITS SHALL BE 1-HR. RATED WALL TYPE 'G' OR 'G1' AS INDICATED.

Timothy G. Pleger R.A.

SECOND FLOOR PLAN

THE SUMMIT - BUILDING RENOVATION SITE PLAN and SPECIAL USE PERMIT

300/304 East Main Street
Lot 33, Block No. 1 - Amendment No. 1
Buena Vista, CO 81211

REVISIONS:

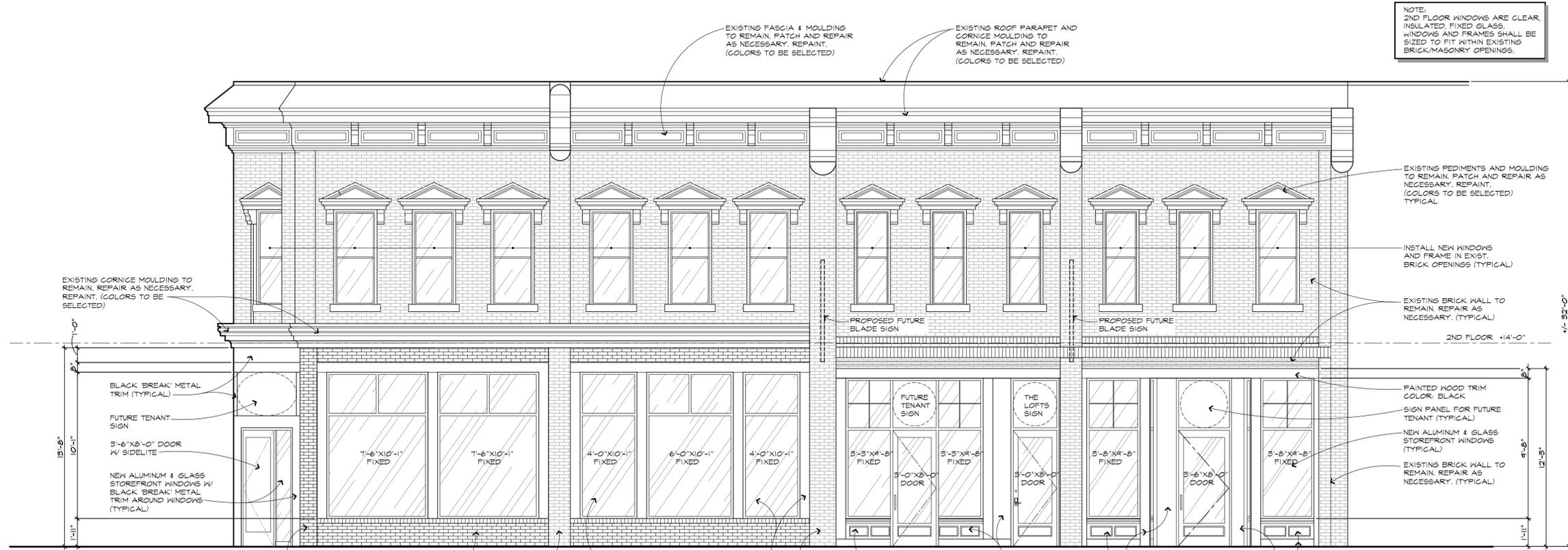
12-17-19 ADDENDUM NO.1



DATE: 12-17-19
DRAWN BY: TP
FILE NAME: TGP-009-A2.1
PROJECT NUMBER: TGP-009

A2.1

Timothy G. Pleger R.A.
118882 Monte Escondido Drive
Buena Vista, CO 81211
T 719-395-5806 Cell: 602-826-1623



NOTE:
2ND FLOOR WINDOWS ARE CLEAR,
INSULATED, FIXED GLASS.
WINDOWS AND FRAMES SHALL BE
SIZED TO FIT WITHIN EXISTING
BRICK/MASONRY OPENINGS.

STOREFRONT SPECIFICATION

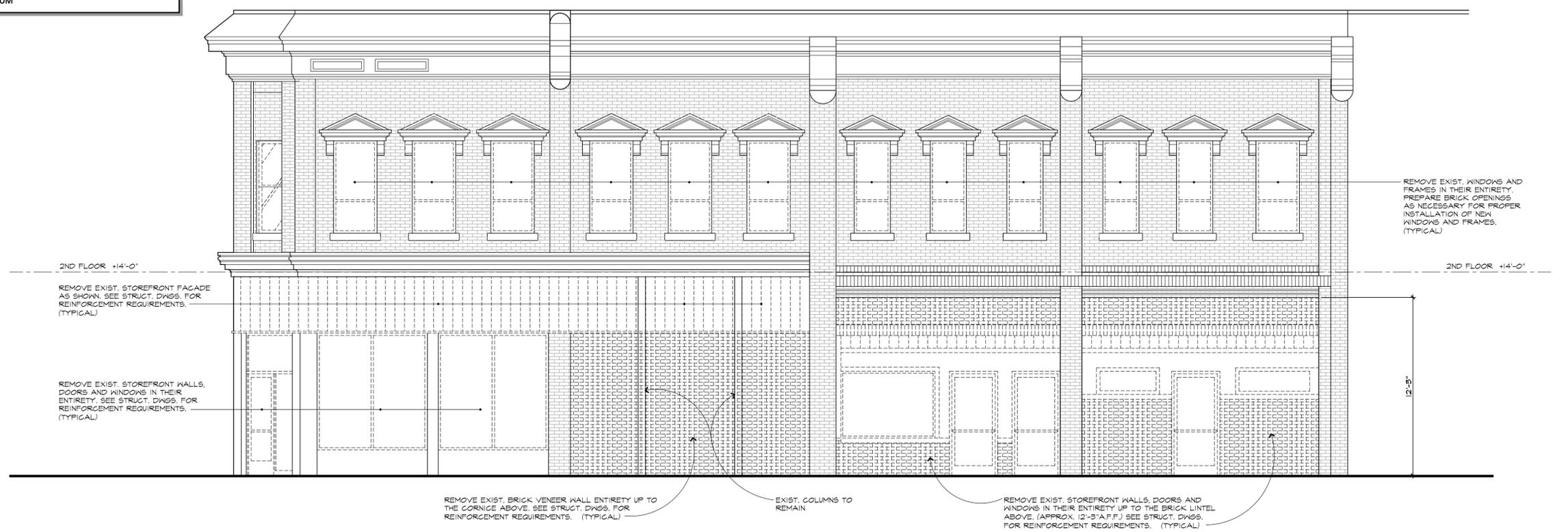
1 "SOLARBAN 60 (2) STARPHIRE + STARPHIRE" BY PPG INDUSTRIES, INC.;
INSULATING UNIT CONSTRUCTION: 1/4" "STARPHIRE" GLASS W/ SOLARBAN 60
SOLAR CONTROL (SPUTTERED ON SECOND SURFACE(2)), + 1/2" AIR SPACE,
+ 1/4" "STARPHIRE" FLOAT GLASS.

U-VALUE WINTER NIGHT TIME: 0.29
U-VALUE SUMMER DAYTIME: 0.27
SHADING COEFFICIENT: 0.45
SOLAR HEAT GAIN COEFFICIENT: 0.41

NOTE:
ALL ALUMINUM STOREFRONT FRAMING SHALL BE KAWNEER TRI-FAB451-T,
THERMALLY BROKEN, W/ 1" DOUBLE PANE GLAZING.
FINISH: BLACK ANODIZED ALUMINUM

A SOUTH ELEVATION (EAST MAIN)

SCALE: 1/4" = 1'-0"



AD SOUTH ELEVATION - DEMOLITION (EAST MAIN)

SCALE: 1/4" = 1'-0"

Timothy G. Pleger R.A.

EXTERIOR ELEVATIONS -

PROJECT: THE SUMMIT - BUILDING RENOVATION
SITE PLAN and SPECIAL USE PERMIT

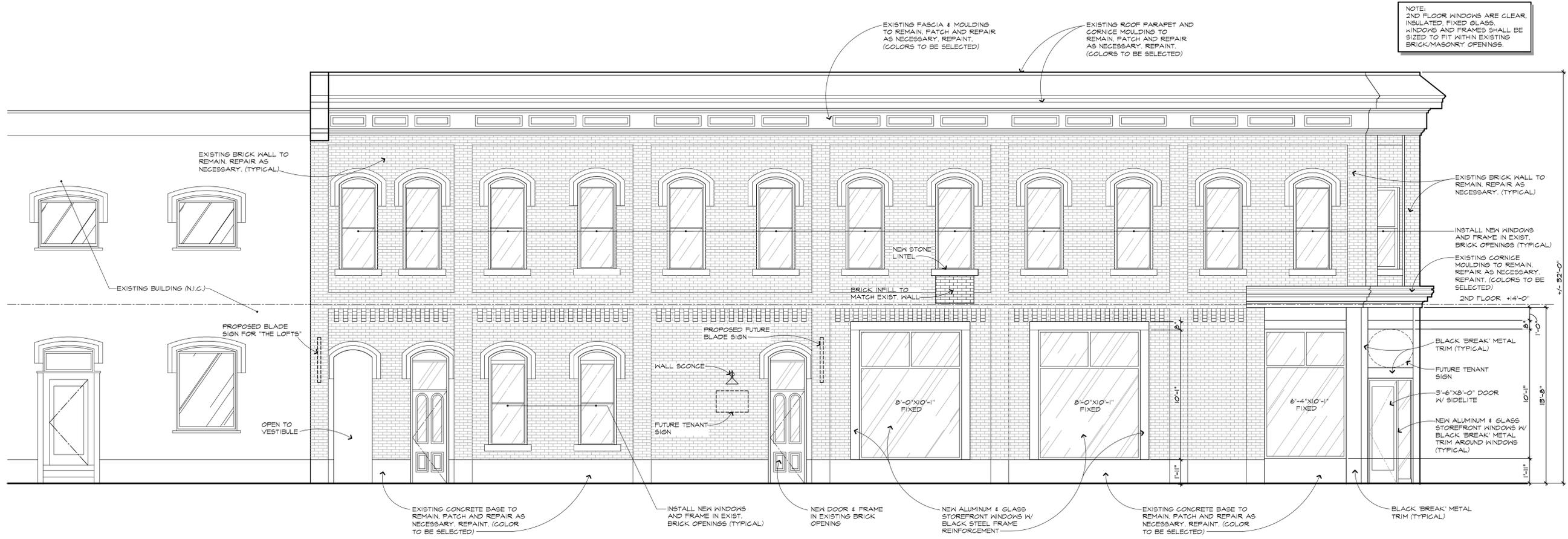
REVISIONS:
12-17-19 ADDENDUM NO.1



DATE: 12-17-19
DRAWN BY: T.P.
FILE NAME: PH17-038-A6
PROJECT NUMBER: TGP-009

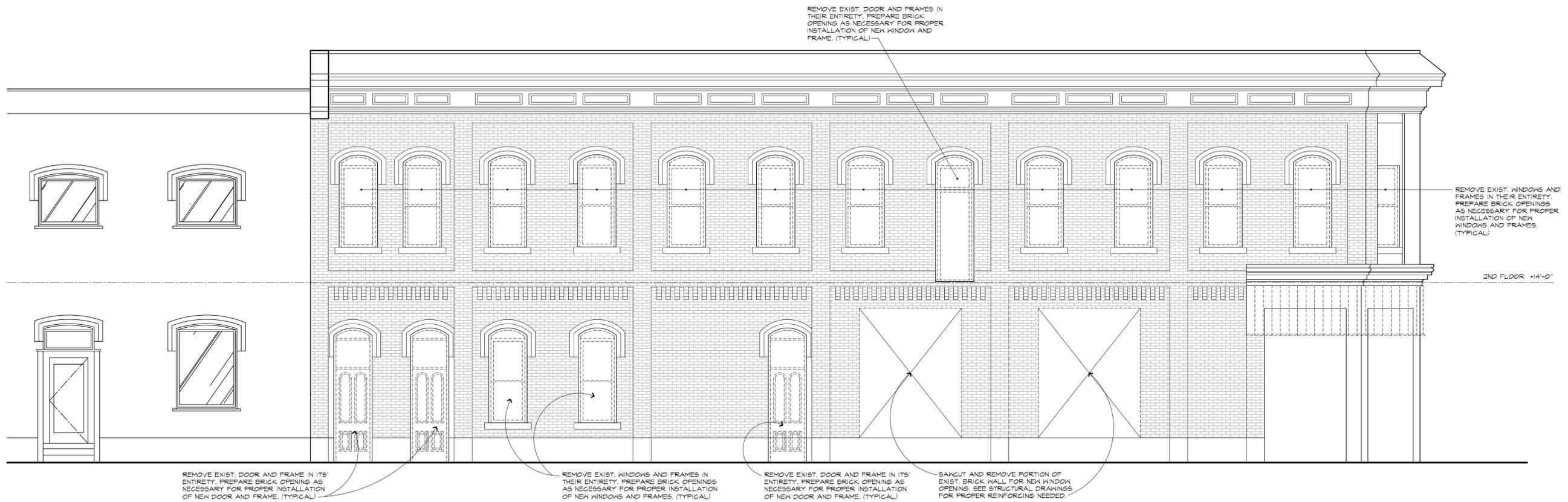
SHEET: **A6.1**

Timothy G. Pleger R.A.
118882 Monte Escondido Drive Buena Vista, CO 81211
T 719-395-5806 Cell: 602-826-1623



B EAST ELEVATION (RAILROAD STREET)

SCALE: 1/4" = 1'-0"



BD EAST ELEVATION - DEMOLITION (RAILROAD STREET)

SCALE: 1/4" = 1'-0"

NOTE:
2ND FLOOR WINDOWS ARE CLEAR,
INSULATED, FIXED GLASS.
WINDOWS AND FRAMES SHALL BE
SIZED TO FIT WITHIN EXISTING
BRICK/MASONRY OPENINGS.

Timothy G. Pleger R.A.

Timothy G. Pleger R.A.
118882 Monte Escondido Drive Buena Vista, CO 81211
T 719-395-5806 Cell: 602-826-1623

EXTERIOR ELEVATIONS -



THE SUMMIT - BUILDING RENOVATION
SITE PLAN and SPECIAL USE PERMIT

300/304 East Main Street
Lot 33, Block No. 1 - Amendment No. 1
Buena Vista, CO 81211

REVISIONS:

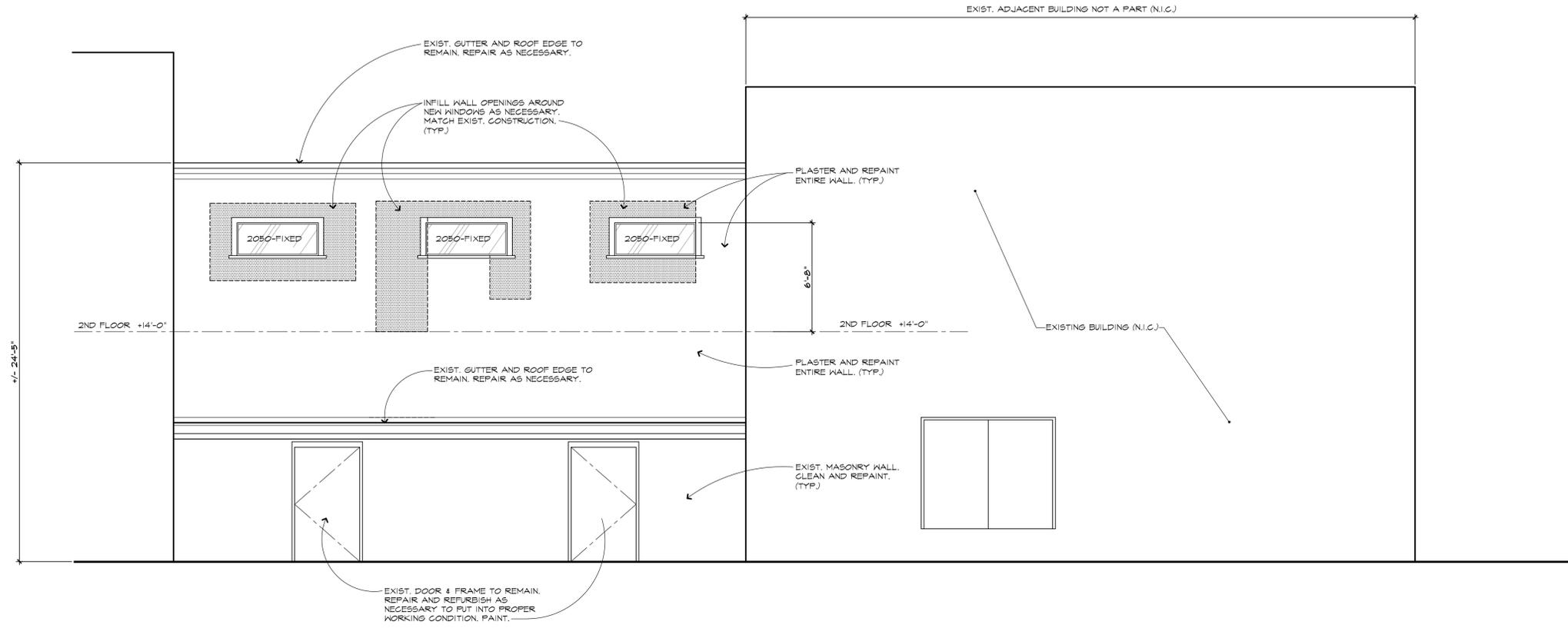
12-17-19 ADDENDUM NO. 1

DATE: 12-17-19
DRAWN BY: T.P.
FILE NAME: PH17-038-A6
PROJECT NUMBER: TGP-009

SEAL: STATE OF COLORADO
TIMOTHY G. PLEGER
C-4137
LICENSED ARCHITECT

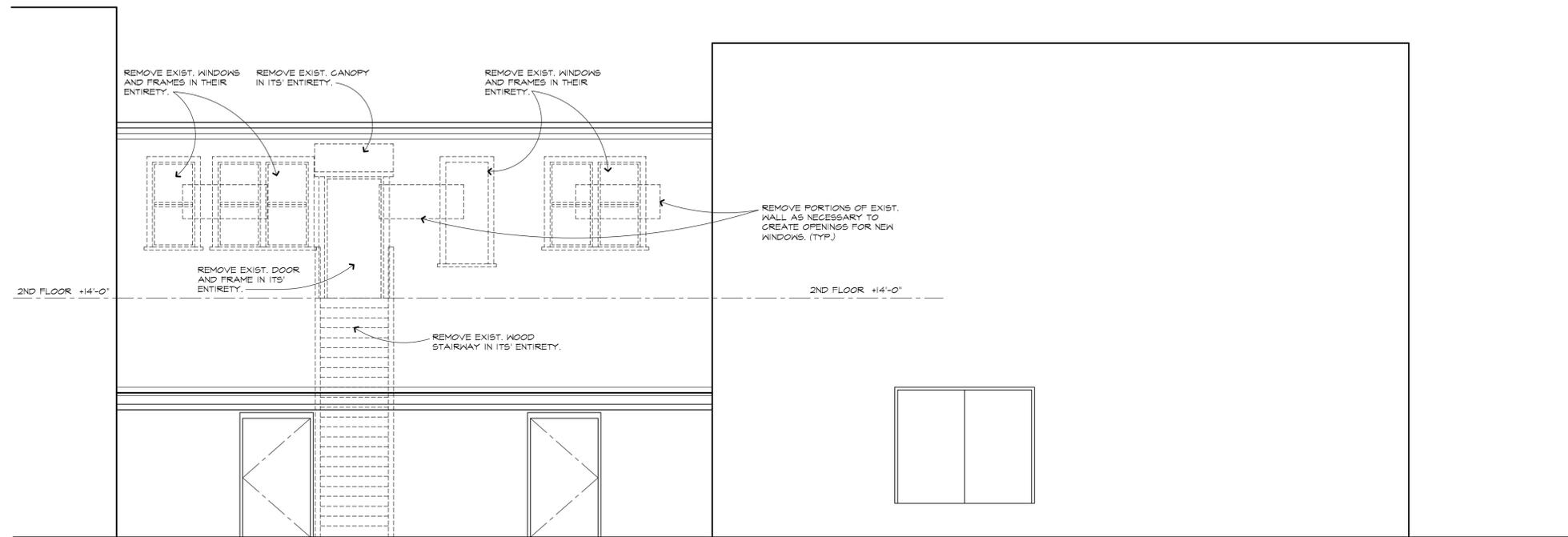
12-17-19

A6.2



C NORTH ELEVATION (ALLEY)

SCALE: 1/4" = 1'-0"



CD NORTH ELEVATION - DEMOLITION (ALLEY)

SCALE: 1/4" = 1'-0"

Timothy G. Pleger R.A.

Timothy G. Pleger R.A.
118882 Monte Escondido Drive Buena Vista, CO 81211
T 719-395-5806 Cell: 602-826-1623

EXTERIOR ELEVATIONS -

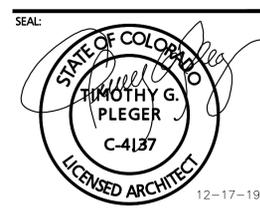


PROJECT: THE SUMMIT - BUILDING RENOVATION
SITE PLAN and SPECIAL USE PERMIT

300/304 East Main Street
Lot 33, Block No. 1 - Amendment No. 1
Buena Vista, CO 81211

REVISIONS:

12-17-19 ADDENDUM NO. 1



DATE: 12-17-19
DRAWN BY: T.P.
FILE NAME: PH17-038-A6
PROJECT NUMBER: TGP-009

A6.3

Attachment E – Draft Resolution

See the Following four (4) Pages.

**TOWN OF BUENA VISTA
PLANNING COMMISSION
RESOLUTION NO. 1**

SERIES 2020

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION FOR THE TOWN OF BUENA VISTA, COLORADO, CONDITIONALLY APPROVING A SPECIAL USE PERMIT FOR 13 UNIT HOTEL AND A MAJOR SITE PLAN FOR A MIXED-USE BUILDING AT 300, 302 AND 304 E. MAIN STREET, BUENA VISTA, COLORADO.

WHEREAS, Mt. Princeton Investment, LLC (“Owner”) owns 300, 302 and 304 E. Main Street, Buena Vista, Colorado, (“Property”), located in Mixed Use-Main Street (MU-MS) Zone District;

WHEREAS, pursuant to Table 3.1 in Section 16.03.3.1.4 of the Buena Vista Municipal Code (the “Code”), in the MU-MS Zone District, hotels require a special use permit;

WHEREAS, pursuant to Section 16.05.6.5.1 of the Code, a mixed-use building with more than 10,000 or more square feet of nonresidential gross floor area;

WHEREAS, Cheryl Richmond (the “Applicant”) filed an application, on behalf of the Owner, for a special use permit to allow for a 13-unit hotel and mixed-use building (“Application”);

WHEREAS, on January 8, 2020, the Planning and Zoning Commission conducted a duly noticed public hearing on the Application; and

WHEREAS, after reviewing all materials provided to it, and hearing staff and public testimony, the Planning and Zoning Commission desires to approve the special use permit and major site plan, subject to the conditions set forth herein.

BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF BUENA VISTA, COLORADO, as follows:

Section 1. The Planning and Zoning Commission, having reviewed the criteria for approval of a Special Use Permit as set forth in Section 16.06.6.5.2.5.b of the Code, finds that:

1. The proposed use is consistent with the Comprehensive Plan and the purpose of the UDC. The Comprehensive Plan identifies the need to participate in efforts to revitalize East Main Street. In addition, the Application furthers the Comprehensive Plan’s goal that new development and infill in proximity to historic district should be similar in scale, massing and architectural character of the district or other important properties by using a historic structure for a new hotel.
2. There are no site-specific standards for a hotel beyond the compliance with the MU-MS zone district standards and the commercial design standards.

3. The proposed use complies with all other standards of the UDC. The proposed use is located in an existing building on East Main Street. No new construction is proposed with this application. Should any additions or remodels be done, they will be subject to the requirements of the Municipal Code in effect at the time of that work.
4. The proposed use is consistent with the purpose statement of the underlying zoning district. The purpose of the MU-MS district is intended to allow for a vertical or horizontal mix of residential and commercial land uses except single-family dwellings along East Main Street in downtown Buena Vista, and other "main street" developments throughout the Town. The district is intended to maintain a vibrant downtown with shopping opportunities, offices, entertainment, lodging, and civic uses. No changes in the building's footprint, height, or setbacks are proposed with the Special Use Permit and Major Site Plan. As such, the Owner is proposing to add one ADA compliant rental unit to the building on the first floor instead of installing an elevator to meeting building code requirements for accessibility.
5. The building will not change from its current footprint. Additional equipment for the restaurant attached to the hotel will be installed to meet County Health Department and Building Code requirements on the top of the first floor at the rear of the building, adjacent to the alley. To minimize noise and its appearance, staff is recommending that the equipment be screened from view to at least the height of the equipment. Parking is proposed to be satisfied through a fee in lieu one-time payment of \$5,000.00 to be used by the Town to try to secure additional off-street parking for the entire downtown area. Because no overnight parking is allowed on East Main Street, parking will need to be provided within other existing downtown rights-of-ways or Town's leased area within the railroad right-of-way west and southwest of the building. Staff has proposed one condition for the Special Use Permit and one condition with the Major Site Plan to ensure that the parking is not limited to users of just this building alone, and that overnight parking for the hotel is not allowed on East Main street.
6. The proposed use does not adversely impact the public health, safety, and welfare of the Town. Subject to the conditions for the payment in lieu for parking and the snow removal plan, the proposed use will not adversely impact the public health safety and welfare of the Town.

Section 2. The Planning and Zoning Commission hereby approves the Special Use Permit, subject to the following conditions:

1. The Owner shall provide a one-time fee in lieu of parking for five vehicle spaces totaling \$5,000.00 to the Town of Buena Vista within 30 days of the Special Use Permit being approved. The property is not subject to any additional parking requirements for the building located at 300, 302, and 304 E. Main Street.
2. The Owner shall instruct all visitors and tenants that overnight parking is not allowed on East Main Street in its lodging and rental materials, and make its tenants known that any vehicles parked overnight on East Main Street may be towed at the owner's expenses.
3. The Owner shall obtain and maintain a business license prior to and during its use as a hotel.

4. The Owner shall provide a written snow removal plan that complies with the Town's snow removal requirements listed in the Municipal Code to Code Enforcement within 30 days of the Commission's approval.
5. The Owner shall comply with all State of Colorado sanitary standards and regulations for public accommodations as listed in 6 CCR 1010-14, as may be amended.

Section 3. The Special Use Permit shall be a covenant that runs with the land, provided that pursuant to Section 16.06.6.5.2 of the UDC, the special use permit shall expire and be deemed void if the permit has not been substantially acted on or there is no objectively measurable development activity within three (3) years from the date set forth below.

Section 4. The Planning and Zoning Commission, having reviewed the criteria for approval of a Major Site Plan as set forth in Section 16.06.6.5.1.C.3 of the Code, finds that:

1. Reuse of existing buildings in the Town's downtown commercial core for year-round uses is consistent with the Comprehensive Plan and its historic preservation policies. The site plan will result in a restaurant and retail uses on the first floor and a hotel on a part of the first floor and second floor of the existing building. The Owner is proposing to modify the existing storefronts along East Main Street to restore the design to be compatible with the original look of the building using new materials and to reuse some of the materials salvage from the two new windows proposed to be cut into the first-floor façade along Railroad Street.
2. The site plan is consistent with the approval from the Historic Preservation Commission for some slight modifications to the building's exteriors as shown in their review of the building's demolition permit for the interior reviewed in December 2019. Additionally, the site plan is consistent with the concurrent application to combine the two properties into one with a Minor Subdivision.
3. The site plan is consistent with the setbacks, building coverage, building height and design standards listed in the Code. Equipment screening, trash screening, and lighting will also be required to meet code with the redevelopment, and each is listed as a condition of the approval for the site plan.

Section 5. The Planning and Zoning Commission hereby approves the Major Site Plan, subject to the following conditions:

1. The Site Plan for the mixed-use building shall be corrected for any building code requirements that alter the proposed drawings before the Planning and Zoning Commission. Prior to a Certificate of Occupancy, all corrected drawings shall be digitally submitted to the Town for its records, including any changes from the approved Major Site Plan drawings.
2. The Major Site Plan approval is for the proposed uses and configuration as shown in the Application. Any changes in use shall be subject to the use requirements in effect at the time of any change of use. Prior to said changes of use, the Owner shall confirm with

Town staff that the new uses are allowed per the Municipal Code requirements in effect at that time. Permitted uses will be allowed, and Special Uses will only be allowed after the proposed use obtains a Special Use Permit for such use.

3. Parking for the property shall not be limited to the building's tenants, whether it is the Town's rights-of-way in front of the building or leased area in the railroad right-of-way. Parking shall be open to the public on a first come-first serve basis. The Town has the authority to change parking spaces and/or configuration of parking within its rights-of-way at any time.
4. Prior to construction or installation of any encroachments from the building into the Town's rights-of-way, the Owner shall obtain Town approval of an encroachment permit and maintain the insurance for said encroachment permit on an annual basis.
5. Prior to a certificate of occupancy, the rooftop equipment for the kitchen shall be screened from the adjoining properties to the north of the alley to at least the height of the equipment.
6. Screening of trash and recycling areas shall be required to at least the same as the height of the dumpster or trash cans.
7. All lighting shall be downcast and shielded to comply with Town requirements, and shall be inspected and approved by the Town prior to the issuance of a certificate of occupancy, and if any lighting issues are identified, shall be corrected by the Owner to minimize light pollution.
8. All signs shall be installed after obtaining a sign permit meeting the Code in effect at the time of installation, including face changes of approved signs from previously approved tenant signage.
9. All commercial uses shall obtain and maintain a business license, prior and during commercial operations.

Section 6. The Major Site Plan shall be a covenant that runs with the land, provided that pursuant to Section 16.06.6.5.1 of the UDC, the major site plan shall expire and be deemed void if the permit has not been substantially acted on or there is no objectively measurable development activity within three (3) years from the date set forth below.

ADOPTED this ____ day of _____, 2020.

ATTEST:

Preston Larimer, Chair

Paula Barnett, Town Clerk

Let the Count Begin

THIS MONTH MARKS THE BEGINNING of the countdown to the 2020 Census. It's the time when the Census Bureau heightens its search for some 500,000 temporary staffers to work door-to-door. But some of those workers will have a different job than in the past. Census expert Chris Williamson, AICP, says we can expect that some two-thirds of the population will respond online.

Census workers hitting the streets still play an important role, though.

Williamson is busy this time of the year helping local officials—and planners—solve the problems that make the final count so difficult. A host of problems can result in an undercount on the census. The key issues include the perennial undercount of children under five; the fears of local residents, especially those without citizenship; language barriers that may discourage participation; and the difficulty of finding addresses, particularly in areas with many vacancies and poorly marked buildings or temporary housing. All these things can leave important demographic groups underfunded and threaten access to resources, Williamson says.

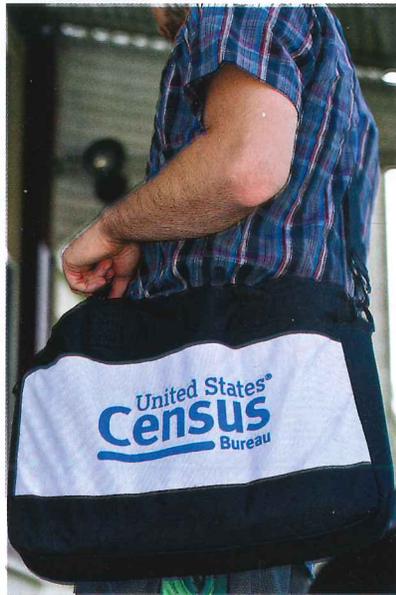
The hope is that people will respond by April 30. When they don't, the Census Bureau tries again in person.

The major difficulty is addressing housing vacancies. Williamson notes that local planners count on the census to profile their housing stock. When the numbers aren't available to feed into their projections, everything is skewed.

A changing census

The decennial census has been the federal and local governments' best source of data since 1790, when the Constitution made it a requirement. The content and format of Census 2020 largely dates from 1980, when the Voting Rights Act was passed. Williamson says the act responded to a Supreme Court decision requiring electoral districts to have equal populations.

In another decision this past June, the Court voted five to four to turn down the Trump administration's request to add a question about citizenship.



A U.S. Census Bureau field service employee approaches a resident's door to verify address data for the 2020 Census.

The 1990 census marked the beginning of digital mapping (and of the GIS boom, Williamson says). It was also the beginning of the Complete Count Committees, which are in place in almost every state. "The Census Bureau encourages the committees, even creating 'complete count contests' and passing out prize money to the winners," says Williamson. "The message is clear: For every person missed in the count, your community loses funds."

A count that matters

Why should planners and commissioners care about the census?

"Almost every community has districts—for schools, elections, and so on. The census provides the official

data used to draw up these districts. The result could matter a lot," says Williamson. "Also, the census is almost the only way to get an accurate demographic profile of your community. The population might not have changed much, but the census will suggest change that might be coming."

He cites the baby boom generation as an example. "The population of your area might seem stable at the moment, but what about kids that move away—or retirees? Those changes could affect the housing you will need in the future—and services you may be asked to provide. Your total population may not change much, but the population characteristics definitely do."

For planners, it's the long-form data that is most useful, he says. In 1960, one out of six addresses got the long form, which asked a broad variety of questions. In the late 1990s, a new version appeared, the American Community Survey. The ACS is now sent to some two million addresses each year.

"Some of the data produced by the ACS is better than others," Williamson says. "In some cases, there is a pretty large margin of error. And sometimes planners are the only people who understand the statistical results."

The big question is how to get people to participate. "The Census Bureau spends a couple million dollars on advertising, but that's not enough," says Williamson. "So some states do more." There is also concern about the census taking place next year in the midst of a political campaign. "There's fear that it will be overwhelmed," he says.

Williamson is a rare animal: a planning PhD with a BS in geography. He has been both a planning practitioner and a professor—and a 10-year veteran of the Census Bureau. He sees city planners as the best sources of census information; they know where the homeless are, for instance.

"They're the ones who make sure everyone gets counted." ■

—Ruth Eckdish Knack, FAICP
Knack is a former executive editor of *Planning*.



Among the sticky legal issues planning commissioners have to tackle are regulations for short-term rentals, rules governing the size and placement of signs, and where tattoo parlors can set up shop.

Commissioners Have to be Quick Studies

PLANNING BOARD members face complicated issues, whether they serve a large city, a rural county, or someplace in between. So they have to do their homework.

Short-term rentals

The STR business—notably Airbnb and VRBO—seems to have snuck up on us, just as ride sharing has. No real plans and certainly no regulations were in place for either phenomenon, yet both dramatically affect land use. New York City recently brought a \$21 million lawsuit against a group of real estate brokers accused of illegally operating STRs in 35 buildings in Manhattan; they used 18 corporate entities to convert 130 apartments and then rent them to 75,000 guests.

There is no one-size-fits-all approach to planning and regulating STRs. Whole neighborhoods have lost their social fabric when owners essentially abandoned their single-family homes for the greater return from short-term rentals. It's up to commissioners to draw the line between the elderly widow who rents out a back bedroom a few days a month and the

deep-pocketed commercial operator with hundreds of units for rent.

New Orleans has done a good job addressing these issues, from prohibiting STRs in the Vieux Carré to enabling them in commercial areas. To see its program, go to nola.gov/short-term-rentals.

Tattoos and the First Amendment

As commissioners, you must protect the civil rights of all, even in areas you never imagined would get your help. Adult businesses—strip clubs, for instance—are protected by the First Amendment. You may roll your eyes, but as a commissioner you know that the right to adult entertainment falls under the broad umbrella of protected speech, and that you are obligated to protect it.

And that includes zoning to allow tattoo parlors. The case law is clear: Tattooing is protected expression. As the Ninth Circuit put it in the 2010 case of *Anderson v. Hermosa Beach*, it doesn't matter whether the protected expression is a pen-and-ink drawing or a tattoo. The takeaway is that you will be hard pressed to totally prohibit a tattoo establishment

in your community—although of course you can regulate its location.

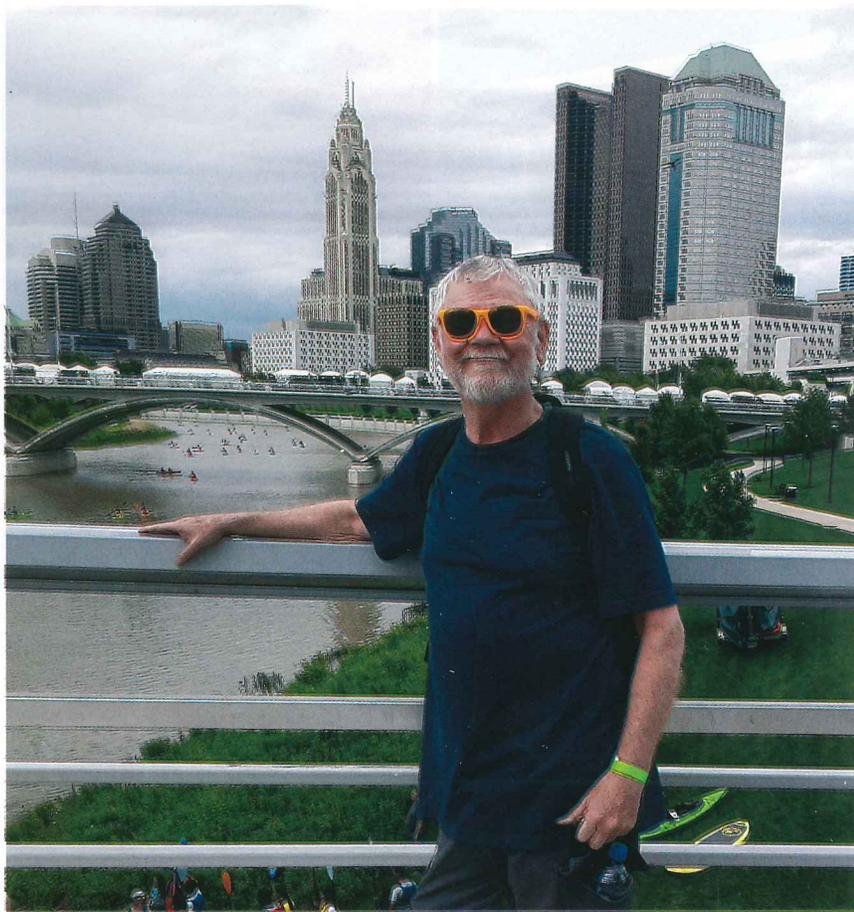
Window signs

Commissioners regulate kinds of signs with great care, and then drive by the local grocery to see the ground-to-ceiling windows plastered with this week's loss-leader. What happened?

The answer lies in the U.S. Supreme Court's 2016 decision in *Reed v. Gilbert*. It makes it nearly impossible to regulate sign content. You can limit, however, the area of the sign—say not more than 30 percent of the window area and not blocking the view to the cashier (as St. Paul, Minnesota's regulations stipulate). You can also distinguish between temporary and permanent signs (as Park Ridge, Illinois, does).

Finally, you may wish to include the window sign area in an aggregation of all kinds of signs and limit the total to some measure like four square feet for each foot of street frontage (Los Angeles). ■

—Dwight Merriam, FAICP
Merriam, a past president of the American Institute of Certified Planners, is a planner-lawyer in private practice. Visit dwrightmerriam.com.



Brian Williams attends Riverfest in Columbus, Ohio, where he was once employed as a full-time reporter and is now a member of the University Area Commission.

Perspectives on Zoning

JOURNALISM SCHOOL DIDN'T TRAIN ME for city council shouting matches about curb cuts, floor-area ratios, or parking lot lighting. Instead, I learned on the job at several newspapers, listening to residents and public officials talk past each other in public hearings.

It turns out that my 25 years of newspaper experience was excellent preparation for my current role as a member of the University Area Commission in Columbus, Ohio.

From reporter ...

In 1979, a few weeks into my first newspaper job in an urbanizing township 20 miles from Cleveland, I recall driving home from a hearing confused by the angry cries of “spot zoning!” In fact, the small market that residents vehemently opposed struck me as a good fit for the community.

Within a few years, I was covering zoning battles in the Chicago suburbs. When people complained that an apartment building or convenience store would lower property values, it seemed to me—a renter in the city—that they were more interested in profiting from the community than investing in it for the long term.

Soon I was jaded enough that I could

almost write my stories before the hearings because I knew that the same people would trot out the same arguments: Too much traffic. Unsafe for kids. School overcrowding. Not enough parking. Reduced home values. Density too high.

Later, writing editorials and columns in Rochester, Minnesota, I began to consider planning and zoning as policy rather than the clash of the week. Why, for example, in code-compliant subdivisions, are single-family houses laid out in a fashion accessible only by car? Why does a community oppose a new apartment complex or fast-food joint?

It was obvious to me that the motivations behind these reactions—racial or economic bias, preserving property values and neighborhood character, or maybe simple fear of change—were generally less clear.

But one thing was certain: Zoning codes had become tools to oppose development rather than rules for development. And zoning disputes had less to do with shaping a city's growth and more to do with parking, density, signage, floor-area ratio, height limits, parking minimums, and the number of bedrooms or barstools per parking space.

In 2004, after covering rural and urban land-use issues for the *Columbus Dispatch*, I left journalism to become an advocate for the things I cared most about: land-use planning, farmland preservation, urban revitalization, public transportation.

... to commissioner

Three years ago, I became a member of the University Area Commission, the group that, among other things, makes recommendations on zoning variances to the city council and the board of zoning adjustment. The commission's jurisdiction covers the neighborhoods adjacent to—but not including—The Ohio State University campus.

My appointment came at a time of rapid, large-scale redevelopment on the High Street campus strip and other neighborhoods near OSU. The biggest

debate was over a plan to raze a block of century-old brick foursquare houses to build an 11-story mixed-use development.

Central Ohio foresees as many as a million new residents by 2050. As baby boomers retire, seniors are expected to become one of the fastest-growing demographics. The other will be millennials, who are still joining the workforce and starting families in great numbers. Both cohorts are drawn to walkable, mixed-use neighborhoods. As demand grows for apartments, condominiums, and small, detached houses, the interest in large suburban homes is shrinking. That means neighborhoods like the University District are likely to become a hot commodity.

Meanwhile, many local residents have a visceral dislike of “density.” They voice their opposition in terms of height limits, floor-area ratio, and parking spaces—figures that don’t necessarily reflect population per square mile. In fact, the university district has more residents per square mile than any other place in Ohio.

As a reporter, I observed as public officials, developers, lawyers, and residents talked without listening. Now I serve with or represent neighbors who can recite arcane, arbitrary numbers in the zoning code but have no idea how to create or maintain a vibrant, viable neighborhood. I’m increasingly convinced that solutions do not lie in the zoning code, and that the neighbors’ fears are really about design and change.

Our zoning committee has experimented in recent months with a less adversarial approach, asking developers to come to us early in their planning process for a conceptual review. We encourage them to meet with residents and civic groups—a process that in some cases results in compromise and design changes that satisfy both sides. It’s not perfect, but it takes the focus away from formulas and figures.

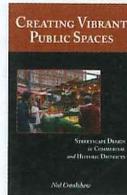
After all, numbers can be deceiving. A good community is more than the sum of its parts. ■

—Brian Williams

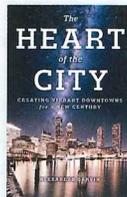
Williams is a freelance writer and member of the University Area Commission in Columbus.

COMMISSIONERS’ BOOKSHELF

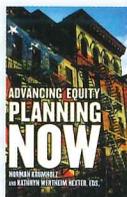
These five books are of particular value to planning commissioners, zoning board members, and historic preservationists:



Creating Vibrant Public Spaces (2009) by landscape architect Ned Crankshaw offers a straightforward, thorough, and congenial account that can help decision makers ask good questions. If you can read only one book in this bunch, make it this. One thought: “Each circulation pattern is a continuum that converts auto drivers to pedestrians and then back again. The point of conversion from driver to pedestrian is a significant change in the experience.”



The Heart of the City: Creating Vibrant Downtowns for a New Century (2019) by Alexander Garvin is a magisterial view from someone who seems to have been everywhere and seen everything—and who is concerned that environmental impact statements and organized objectors unduly hamper (re)development.



Advancing Equity Planning Now (2018) is edited by Norman Krumholz and Kathryn Wertheim Hexter. Contributors emphasize that planning leaders can help those least able to help themselves by asking two simple questions: “Who benefits?” and “Who pays?” The book includes many examples, not all successes for Team Equity.



Buy-ins for Buyouts: The Case for Managed Retreat from Flood Zones (2016) by Robert Freudenberg, Ellis Calvin, and Laura Tolkoff (Regional Plan Association), and Dare Brawley (Columbia University) addresses a chronic, difficult, and divisive planning issue using examples from two recent Atlantic hurricanes. The best answer, when possible, is to start early.



Historic Preservation: An Introduction to Its History, Principles, and Practice (third edition 2018) by Norman Tyler FAICP, Ilene R. Tyler, and Ted J. Ligibel, is a weighty and authoritative tome that still manages to inform with practical and unanticipated insights. The authors make a sustainability case for reusing the massive stock of post-World War II buildings, sometimes despite their quality issues (more on this in Planners Library).

—Harold Henderson

—Henderson is *Planning's* regular book reviewer.