



**The Buena Vista Planning & Zoning Commission  
July 15, 2020 at 7:00 PM**

**Virtual Regular Meeting  
Meeting will not be held  
at the Buena Vista Community Center**

**The meeting may be accessed virtually via ZOOM. To participate in Public Comment and/or Public Hearings you must connect to the video conference.**

**Conferencing Access Information:** <https://zoom.us/j/99453647636>  
**Listen via phone at 1 346-248-7799 Meeting ID: 994 5364 7636**

## ***AGENDA***

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### **REGULAR MEETING OF THE PLANNING & ZONING COMMISSION**

- I. Call to Order**
- II. Pledge of Allegiance**
- III. Roll Call**
- IV. Agenda Adoption**
- V. Approval of Minutes – June 3, 2020**
- VI. Public Comment**
- VII. New Business**
  - 1. South Court Social Major Site Plan – 505 E. Main Street.**  
A Major Site Plan for a mixed-use building in the MU-MS zone district for an approximately 21,000 square-foot mixed-use building containing approximately 5,550 square feet of commercial space with 16 long-term multifamily residential units located at 505 E. Main Street.
  - 2. Chaffee County planning IGA**
  - 3. August 5<sup>th</sup> – Will meet to discuss Sangre de Cristo Annexation and Zoning request**
- VIII. Staff/Commission Interaction**
- IX. Adjournment**



## Minutes of the Regular Meeting of the Buena Vista Planning and Zoning Commission June 3, 2020

### **CALL TO ORDER**

A regular meeting of the Planning and Zoning Commission was called to order at 7:00 pm, Wednesday, June 3, 2020 via Zoom virtual meeting by Chair Preston Larimer. Also present were Vice Chair Lynn Schultz-Writsel, Thomas Doumas and Commissioner Estes Banks.

Staff Present: Principal Planner Mark Doering and Planning Technician Doug Tart.

### **PLEDGE OF ALLEGIANCE**

Chair Larimer led in the Pledge of Allegiance.

### **ROLL CALL**

Doering proceeded with the roll call and declared a quorum.

### **AGENDA ADOPTION**

Larimer called for approval of the agenda. Schultz-Writsel motioned to adopt the agenda as presented, **Motion #1** seconded by Doumas. Motion carried.

### **APPROVAL OF MINUTES**

Larimer motioned for approval of the April 1, 2020 and May 20, 2020 minutes as presented. Doumas motioned approval for minutes from April 1, 2020 as edited by Schultz-Writsel. **Motion #2** was seconded by Banks. Motion carried.

Larimer proposed change to paragraph 7 of minutes from May 20, 2020 to read “amend UDC and maybe Special Use Permit is the correct approach.”

Schultz-Writsel proposed a change to paragraph 6, said that “them” should be changed to “dormitories”.

Schultz-Writsel suggested that paragraph 9 needed to be restated. Doering said he would change sentencing to clarify that “it” referred to IGA so that sentence would read that “County Commission are opposed to IGA...”

Larimer motioned to accept minutes from May 20, 2020 on the premise that staff will bring a revised edit in accordance to suggestions made during the meeting for further review and signature. **Motion #3** was seconded by Banks. Motion carried.

### **PUBLIC COMMENT**

Public comments opened at 7:10 pm. With no comments, public comment was closed at 7:10 pm.

## **NEW BUSINESS**

### **Use of Zoom for future meetings**

Doering discussed using Zoom for future meetings. The Town has purchased Zoom, and it is expected that it will be used for the foreseeable future, at least through the end of June.

Doering said that he anticipates a case coming before the Planning and Zoning Commission via Zoom for a site plan that does not meet the requirements for administrative approval. Case review is likely to occur in early July.

Larimer suggested doing a Zoom briefing again prior to bringing in the public for comment in order to prevent any issues related to video conferencing.

### **County Comprehensive Plan**

Doering discussed the Town's involvement in the county's Comprehensive Plan, beginning with a discussion regarding potential "Opportunity Sites". These sites offer high residential and commercial developmental potential outside of but near the Town's boundary. These sites, in theory, would be served by Town water and sewer.

In reference to a question from Banks regarding downtown-like development potential in Johnson Village, Doering explained the difficulties of such a development, mostly from a water and sewer standpoint. Doering stated that he does not foresee the Town extending water and sewer to Johnson Village.

Larimer and Doering acknowledged the lack of water discussion in the Comprehensive Plan, and Doering cited it as a necessary addition to the plan. Larimer expressed concern over the difficulty of managing water usage for county subdivisions and parcels should the Town provide water and sewer to these areas. Doering explained that in similar situations, such as Sangre de Cristo, the Town has had the property owner sign an "Annexation Agreement" which would require the annexation of the property or subdivision when the Town is ready. The Board of Trustees would have to discuss the providing of water and sewer to County property.

Doering stated that the Town is currently working on expanding its water rights capabilities in a project set to begin in 2023. This will potentially include adding storage and modifying the existing gallery on C.R. 306. Increased residential growth has increased the strain on the Town's water resources.

Doering recommended that Planning and Zoning commissioners read over the Chaffee County Land Use Plan to gain an understanding of what the County is calling for with regards to future development. Doering stated that this is the intention of the 3-mile plan, which is to determine the best use of County land in the instance that the land is annexed by the Town in the future.

Doering also acknowledged the lack of transportation discussion in the County's Comprehensive Plan. From a regional perspective, there is interest in connecting Steele Rd. to C.R. 306 due to complications of a shutdown of Hwy. 285.

Larimer stated the need for discussion regarding the differences in how the Town and County each look at land use.

Doering asks commissioners to take a look at Buena Vista portion and future land use map to assemble list of comments for the County IGA meeting. Doering said he would send out a draft of the IGA to commissioners to show what the Town is proposing.

**STAFF / COMMISSION INTERACTION**

There will be a meeting to discuss the County IGA on Tuesday June 16, 2020.

**ADJOURNMENT**

There being no further business to come before the Commission, Banks motioned to adjourn the meeting at 6:58 p.m. Doumas seconded. **Motion #4** was unanimously approved.

Respectfully submitted:

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Preston Larimer, Chair

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Doug Tart, Planning Technician



## **TOWN OF BUENA VISTA**

P.O. Box 2002  
Buena Vista, CO 81211  
Phone: (719) 395-8643  
Fax: (719) 395-8644

**DATE:** July 10, 2020

**HEARING DATE:** July 15, 2020

**TO:** Planning and Zoning Commission

**FROM:** Mark N. Doering, Principal Planner

**AGENDA ITEM:** South Court Social – A Major Site Plan for a mixed-use building in the MU-MS zone district for an approximately 21,000 square-foot mixed-use building containing approximately 5,550 square feet of commercial space with 16 long-term multifamily residential units located at 505 E. Main Street.

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### **Staff Recommendation**

That the Planning and Zoning Commission approve with conditions the Major Site Plan for for an approximately 21,000 square-foot mixed-use building containing approximately 5,550 square feet of commercial with 16 multifamily units located at 505 E. Main Street. Staff's recommended conditions of approval for the Major Site Plan are:

### **Major Site Plan Conditions:**

1. The proposed uses for purposes of this site plan review are general retail and long-term multifamily residential. Any changes to those uses are proposed will be subject all applicable Town regulations and any changes must be approved by the Town prior to those uses are permitted on the Property.
2. No short-term rentals are allowed with this approval. The Owner shall ensure that no residential tenants shall conduct short-term rentals of individual units in their leases for the multifamily residential units.
3. The proposed project is being developed as two mixed-use buildings on one lot with long-term leases of all units. Should the owner seek to condominiumize the project in the future, the buildings shall be brought up to compliance with the building code and utility codes in effect at that time, including any individual utility and fire separation requirements, prior to becoming condominiums through condominium plat and change of use applications.
4. The Owner shall pay fees in lieu of school land dedication in the amount of \$444.66 per residential unit (\$7,114.56 for 16 units) prior to the issuance of a building permit for the proposed development.
5. The Owner shall pay fees in lieu of park land dedication in the amount of \$646.00 per residential unit (\$10,336.00 for 16 units) prior to the issuance of a building permit for the proposed development.

6. The Site Plan for the mixed-use building shall be corrected for any building code requirements. Prior to a Certificate of Occupancy, all corrected drawings shall be digitally submitted to the Town for its records, including any changes from the approved Site Plan drawings.
7. Prior to construction or installation of any encroachments into the building into the Town's rights-of-way, such as signs, lighting or awnings, the Owner shall obtain Town approval of an encroachment permit.
8. All lighting shall be downcast and shielded to comply with Town requirements, and shall be inspected and approved by the Town prior to the issuance of a certificate of occupancy, and if any lighting issues are identified, shall be corrected by the Owner to minimize light pollution.
9. The Owner agrees to reimburse the Town for the Owner's equal share of the construction of the alley in accordance with Colorado law.
10. Prior to building permit, the Owner shall execute an infill agreement with the Town for the public improvements required by this approval.
11. Prior to the first Certificate of Occupancy for the proposed development, the following must occur:
  - a. The Property shall be combined from three lots into one lot through a formal subdivision application approved by the Town and recorded at the Chaffee County Clerk and Recorder's office.
  - b. Rooftop equipment shall be screened from view to at least the height of the equipment.
  - c. The public improvements along South Court Street and East Main Street shall be installed, inspected, and preliminarily accepted by the Town.
12. Prior to the installation of any sign or any change of sign face, the Owner or tenant must obtain a sign permit in accordance with the applicable provision of the Code.
13. The Owner shall instruct all tenants that overnight parking is not allowed on East Main Street in its lease materials, and make its tenants known that any vehicles parked overnight on East Main Street may be towed at the owner's expense.
14. The Owner shall instruct all commercial tenants that they shall obtain and maintain business licenses for all businesses prior to and during their use on the Property.
15. The Owner shall instruct all commercial tenants that they must clear and maintain sidewalks abutting the property of snow and ice in accordance with the Town's commercial snow removal requirements in affect.

**Attachments to the Report:**

**Attachment A – Vicinity Map**

**Attachment B – Zoning Map**

**Attachment C – Site Photos**

**Attachment D – Site Plan Set**

**Attachment E – Historic Preservation Commission Comments**

**Attachment F – Draft Resolution**

**I. SUMMARY OF REQUEST**

BV Bus Stop, LLC., as represented by architect Tim Sabo of Allen-Guerra Architecture, submitted a Major Site Plan application to allow for an approximately 21,000 square-foot mixed use commercial development containing 16 units of long-term multifamily residential units in two buildings located at 505 E. Main Street, in the Mixed Use – Main Street (MU-MS) Zone District. The proposed uses are general retail and long-term multifamily residential. The proposed buildings are large enough under the Unified Development Code (UDC) to require Planning and Zoning Commission Approval prior to obtaining a building permit for the proposed uses. Additionally, the applicant will need to submit a Minor Subdivision to combine the three separate original town lots into one lot to allow for the proposed development. That review is conducted by the Town Administrator and is not subject to a public hearing for its review and decision, but will be required to be completed prior to the building obtaining a certificate of occupancy. See Attachment A – Vicinity Map, Attachment B – Zoning Map, Attachment C – Site Photos, and Attachment D – Site Plan Set.

**II. HISTORY AND BACKGROUND**

The site (Lots 1-3 Block 21 Town of Buena Vista Plat) is currently vacant. Prior to the application for a Major Site Plan, the property formerly was occupied by a one-story building known locally as Trader Tads, but was originally constructed in the late 1920’s as a roadside motel along the Ocean to Ocean Peak to Peak Highway (the original name for Highway 24 before it was moved to its current alignment in town). That building was demolished earlier this this year and the site sits vacant. There also is no existing alley in the block (Block 21 of the original Town Plat), and there are no existing sidewalks along either South Court Street or East Main Street adjoining the property.

**III. PROCESS – REQUIRED APPROVALS**

The applicant has submitted a Major Site Plan application because the total square footage of the proposed mixed-use building is approximately 21,000 with 16 residential units and is over the 10,000 square foot maximum and the maximum of 9 residential units for an administrative site plan that would be reviewed by the Town Administrator for a final decision as outlined in the Unified Development Code. The Planning and Zoning Commission will make a final decision on the Major Site Plan, since it will not be forwarded to the Board of Trustees.

In addition, the applicant will be submitting a Minor Subdivision application to combine the existing three old-town lots into one new lot that will contain the proposed two buildings shown on the attached site plan. That approval will be after any decision from the Planning and Zoning Commission and will be reviewed by the Town Administrator for the creation of that one lot. There will not be a public hearing for a final decision on the Minor Decision. That Minor Subdivision plat will be required before completion of the certificate of occupancy, if the Major Site Plan approved.

**IV. ANALYSIS – ZONING AND LAND USE**

	North	South	West	East
<b>Adjacent Zoning Designation</b>	<b>MU-MS (Mixed Use – Main Street)</b>	<b>MU-2 (Mixed Use -Two)</b>	<b>MU-MS (Mixed Use – Main Street)</b>	<b>MU-MS (Mixed Use – Main Street)</b>
<b>Adjacent Land Use</b>	<b>BV Heritage Museum</b>	<b>Residential</b>	<b>Commercial</b>	<b>Vacant</b>

**See Attachment A - Vicinity Map, Attachment B - Zoning Map, and Attachment C – Site Plan.**

## V. ANALYSIS – MAJOR SITE PLAN CRITERIA

Section 16-6.5.1. of the Buena Vista Municipal Code provides specific review criteria for Major Site Plans. Each criterion is shown below in **bold text** and staff's analysis follows each criterion in standard text.

### 1. **The site plan is consistent with the Comprehensive Plan and other adopted Town policies and plans.**

The proposed development is consistent with a lot of adopted goals and policies of the 2015 Comprehensive Plan. The proposed plan results in long-term residential and year-round commercial development on a property that previously had a vacant building in the downtown area and results in expansion of the downtown sidewalk streetscape for both East main Street and for South Court Street. The site plan will result in retail uses on the first floor and long-term multifamily residential above in the second and third floors of the proposed building. While it will be new construction, it will match the development along East Main Street with a building that is pulled up to the front of the lot similar to existing downtown buildings and has addressed many of the concerns from the Historic Preservation Commission. The list of goals and policies from the Comprehensive Plan that the proposed Major Site Plan is consistent with are:

- Buena Vista will promote new housing on underdeveloped and vacant parcels within the downtown core and provide for mixed-uses.
- Buena Vista will maintain and enhance the community's overall appearance. Land uses shall be compatible with adjacent uses and respect historic properties. Appropriate zone districts should be identified where greater density can be attained.
- Prevent potential displacement of resident housing by tourism uses.
- New and existing development will closely consider accessibility, parking, and alternative transportation. Higher density development will only be located where existing or planned road facilities are appropriately built and designed to serve it. New streets will be designed with equal consideration for the integration with the existing network, connectivity to amenities, visual character, and safety.
- Future development will be required to pay its fair share of the cost of streets improvements made necessary by each development through a professionally calculated impact fee system. Curb cuts should be minimized or combined wherever possible, and alleys used for access and parking wherever possible. Safe routes to school will be provided to allow school children to safely walk or bike to school on their own.
- Buena Vista will identify and conserve priority open space lands in and around the Town. Open space land dedication, or cash-in-lieu of land dedication, will be required in all new subdivisions and annexation developments prior to approval, as specified in the 2010 Development Code and the future Land Use Code rewrite.
- The community will collectively commit to supporting and promoting environmental stewardship. Integrate increased density, environmentally sensitive design, and historic preservation concepts into the Land Use Code.
- The Town will consider new and existing development for its environmental impacts and seek to minimize the environmental footprint of development to the greatest extent possible. Encourage density, infill, and adaptive reuse of structures.
- A Historic Preservation Commission will be created to administer a historic preservation program to ensure the preservation of the cultural, artistic, social, economic, political, and architectural character of Buena Vista as well as review new development within

historic districts. New development and infill in proximity to historic districts or buildings should be similar in scale, massing and architectural character of the district or other important properties.

- Buena Vista will maintain and enhance the community's overall appearance. Improve development standards with an emphasis on building design, location, massing, and form.
- New development and additions to historic resources will respect historic resources. New construction will not seek to replicate historic structures or forms, but rather should reflect current design approaches, so as to differentiate between old and new. Buena Vista will be considered a community that can accept new design approaches to its built environment. New uses and unique buildings will be welcome, as long as they are compatible with the dominant character of the community.

The proposed building will be three floors, but is still below the height of the proposed Architectural Design Guidelines (ADG) that have been drafted by the Historic Preservation Commission for East Main Street that has yet to be approved by the Board of Trustees. The ADG recommends that buildings be below the 40-foot height allowed in the Mixed Use -Main Street zone district and be limited to no more than 35 feet in height. The proposed building is shown at 34'-6" for the building with a small architectural element that is proposed to be 2' higher. For comparison, the BV Heritage Museum is 39' tall at its outside edge of the building and Town Hall is 32'-6" tall, but both are two-stories. The proposed building design has also incorporated several elements into the design that were identified by the Historic Preservation Commission (See Attachment E – Historic Preservation Commission Comments).

**2. The site plan is consistent with any previously approved plan, planned unit development, and/or any other precedent land use approval.**

The site plan is consistent with the streetscape design for East Main Street that was approved by the Board of Trustees on June 9, 2020. The property is not part of a planned unit development. The site plan is consistent with the proposed, but not yet adopted, Main Street Architectural Design Guidelines created by the Buena Vista Historic Preservation Commission. Additionally, the proposed site plan has incorporated seven of the nine suggested design modifications from the Historic Preservation Commission after their June 4, 2020 meeting. The site plan is consistent with the proposed subdivision that will be required prior to the certificate of occupancy to combine the original town lots into one new lot. The plans are also consistent with the proposed construction plans for the alley that will be required to be built by the Town and then later assessed to the adjoining properties in Block 21 that will be decided by the Board of Trustees at a later date.

**3. The site plan complies with applicable standards in this UDC.**

The intent of the Mixed Use – Main Street (MU-MS) district is intended to allow for a vertical or horizontal mix of residential and commercial land uses except single-family dwellings along East Main Street in downtown Buena Vista, and other "main street" developments throughout the Town. The district is intended to maintain a vibrant downtown with shopping opportunities, offices, entertainment, lodging, and civic uses. The MU-MS district is intended for predominantly vertical mixed-use (commercial on first floor and other commercial or residential above), with occasional horizontal mixed-use. The MU-MS district places an emphasis on an active street presence with appropriate character and form. As such it has significantly different standards than the other zone districts in Buena Vista. It is intended to have the most density,

tallest allowed building height, lowest parking space requirements allowed, while it has the most design requirements in the town.

The site plan is meets or exceeds the MU-MS zone district setbacks, building coverage, building height, parking and design standards listed in the Unified Development Code. Equipment screening, trash screening, and lighting will also be required to meet code with the development. The MU-MS zone district standards and the proposed building as shown in the attached Major Site Plan are shown in the table below.

	<b>MU-MS Requirement</b>	<b>Proposed Site Plan</b>
<b>Minimum Lot Width</b>	<b>25 feet</b>	<b>75 feet</b>
<b>Front Setback: Minimum Maximum</b>	<b>0 feet minimum 5 feet maximum</b>	<b>0 feet for Main Street 0 feet for Court Street</b>
<b>Minimum Frontage Build Out</b>	<b>85%</b>	<b>100%</b>
<b>Minimum Side Setback</b>	<b>0 feet</b>	<b>0 feet</b>
<b>Minimum Rear Setback</b>	<b>0 feet</b>	<b>0 feet</b>
<b>Maximum Building Coverage</b>	<b>100%</b>	<b>82.7%</b>
<b>Minimum Required Landscaping</b>	<b>0%</b>	<b>17.3%</b>
<b>Maximum Building Height</b>	<b>40 feet primary structure 35 feet accessory structure</b>	<b>34.5 fee No accessory structures</b>
<b>Minimum Off-Street Parking</b>	<b>5 Parking Spaces</b>	<b>7 Parking Spaces</b>

**VI. NONRESIDENTIAL SITE AND BUILDING DESIGN STANDARDS**

Section 16-4.5.3. of the Buena Vista Municipal Code provides specific review criteria for nonresidential and mixed-use buildings in the MU-MS zone district. Each criterion is shown below in **bold text** and staff’s analysis follows each criterion in standard text.

**1. BUILDING ORIENTATION.**

**Local climatic conditions shall be considered when orienting buildings on a site. The following shall be incorporated into the building orientation to the maximum extent possible:**

- a. Building entries on north-facing facades shall be designed to prevent ice accumulation;**
- b. Snow shed from roofs and snow piling areas along internal streets and walkways shall be considered; and**
- c. Adequate solar access shall be considered when planning outdoor spaces, with shade and relief from glare provided by landscaping and/or overhead structures.**

The building entries on the north-facing facades are set into the buildings. The buildings are flat roofs to minimize snow piling along walkways. The buildings are separated by a courtyard between the two buildings.

**2. MULTI-BUILDING DEVELOPMENTS.**

**Nonresidential and mixed-use developments with three (3) or more buildings shall comply with the multi-building development standards for residential developments in Section 4.5.2.F.**

Not applicable as there are only two buildings, but the site does have a courtyard between the two buildings and parking is provided behind the primary buildings.

**3. BUILDING MASS AND FORM.**

- a. Buildings shall vary in size and shape for developments with three (3) or more buildings.
- b. Buildings shall incorporate features at the ground level to enliven pedestrian space. Examples are well-defined and articulated entries and windows, awnings, canopies, arcades, recessed entries, changes in color, material, or texture.
- c. No single building façade or plane shall exceed sixty (60) feet, measured horizontally, without being broken up or distinguished from another building façade or plane using the following techniques:
  1. Variations in roof form or variations in roof height of two (2) feet or more;
  2. Insets or other relief in wall plane of twelve (12) inches or more;
  3. Changes in color, materials, or textures; and
  4. Any other architectural elements designed to vary the façade as approved by the Town Administrator.
- d. Buildings shall incorporate horizontal architectural elements or materials that distinguish the base, body, and top of the building. The body (middle) of the building shall comprise a minimum of fifty percent (50%) of the total building height.

The two buildings incorporate ground level features to enliven the pedestrian spaces with well-defined entries, windows, awnings, changes in color, materials and texture. The buildings have insets in wall plane, changes in color, materials and textures, and enhanced architectural detail along the first floor of each building and at the cornices of the buildings. The buildings incorporate architectural elements to distinguish between the base, body and top of the buildings.

**4. BUILDING TRANSPARENCY.**

Building facades facing a street, plaza, park, or other public space shall comply with the following standards:

- a. At least thirty percent (30%) of the ground floor shall be comprised of transparent window openings to allow views of interior spaces; and
- b. At least twenty percent (20%) of each upper floor shall be comprised of transparent or nontransparent glazing.

The building facing East Main Street provided windows exceeding the minimum requirements on the ground floor and on the two floors above. Both buildings facing Court Street exceed the minimum window requirements except where the enclosed trash screening is provided at the south end of the building where windows would not screen the site's trash containers.

**5. STREET CORNERS.**

Buildings situated on street corners shall comply with the following standards:

- a. The most prominent features of the building shall be concentrated at the intersection to adequately frame the corner; and
- b. Architectural features such as angled facades, prominent entrances, or other unique building features as approved by the Town Administrator shall be employed to the maximum extent possible.

The building at the corner provides for a front entry at the corner with architectural detail and provides an angled entry at the first floor.

**6. PRIMARY ENTRANCE.**

Buildings shall feature visually prominent entrances. Unless otherwise provided in this UDC, primary building entrances shall incorporate two (2) or more of the following techniques:

- a. Canopy, portico, archway, arcade, or similar projection that provides architectural interest and protection for pedestrians;
- b. Prominent tower, dome, or spire;
- c. Peaked roof;
- d. Projecting or recessed entry;
- e. Outdoor features such as seat walls or permanent landscape planters with integrated seating; or
- f. Other techniques deemed comparable by the Town Administrator.

The buildings feature visually prominent building entrances along Main Street and Court Street that incorporate awnings, recessed entries and outdoor features along Court Street in the courtyard.

**7. PRIMARY BUILDING MATERIALS.**

Primary buildings should each use a variety of durable materials, including:

- a. Brick, stone, or other masonry;
- b. Steel;
- c. Cast stone;
- d. Split-face block;
- e. Composite siding;
- f. Rot-resistant wood;
- g. Traditional concrete stucco; or
- h. Comparable material as approved by the Town Administrator.

The primary building materials are brick and composite siding, along with wood trim.

**VII. CONCLUSION AND RECOMMENDATION**

Based upon the information and materials provided by the applicant and in the staff report, staff recommends that the Planning and Zoning Commission approve with conditions the Major Site Plan for for an approximately 21,000 square-foot mixed-use building containing approximately 5,550 square feet of commercial with 16 multifamily units located at 505 E. Main Street.

1. The applicant has requested approval of a Major Site Plan for an approximately 21,000 square-foot mixed-use building containing approximately 5,550 square feet of general retail with 16 multifamily units located at 505 E. Main Street.; and
2. Notice of the public hearing was posted on the property and published in the newspaper as required by the Unified Development Code; and
3. The request was reviewed by the appropriate referral agencies for their review; and
4. The request is consistent with the proposed Main Street Architectural Design Guidelines; and
5. The request is consistent with the 2015 Comprehensive Plan; and
6. The request is consistent with Town's previous approvals for East Main Street and Block 21; and
7. The application is consistent with the applicable standards for a Major Site Plan for new construction on a property located on East Main Street and in the MU-MS zone district.

**THEREFORE**

**If the Planning and Zoning Commission accepts the conclusion and recommendation as presented in the staff report, it should APPROVE the Major Site Plan for the approximately 21,000 square-foot mixed use general retail and long-term multifamily residential use in the MU-MS Zone District for the property located at 505 E. Main Street with the following conditions:**

1. The proposed uses for purposes of this site plan review are general retail and long-term multifamily residential. Any changes to those uses are proposed will be subject all applicable Town regulations and any changes must be approved by the Town prior to those uses are permitted on the Property.
2. No short-term rentals are allowed with this approval. The Owner shall ensure that no residential tenants shall conduct short-term rentals of individual units in their leases for the multifamily residential units.
3. The proposed project is being developed as two mixed-use buildings on one lot with long-term leases of all units. Should the owner seek to condominiumize the project in the future, the buildings shall be brought up to compliance with the building code and utility codes in effect at that time, including any individual utility and fire separation requirements, prior to becoming condominiums through condominium plat and change of use applications.
4. The Owner shall pay fees in lieu of school land dedication in the amount of \$444.66 per residential unit (\$7,114.56 for 16 units) prior to the issuance of a building permit for the proposed development.
5. The Owner shall pay fees in lieu of park land dedication in the amount of \$646.00 per residential unit (\$10,336.00 for 16 units) prior to the issuance of a building permit for the proposed development.
6. The Site Plan for the mixed-use building shall be corrected for any building code requirements. Prior to a Certificate of Occupancy, all corrected drawings shall be digitally submitted to the Town for its records, including any changes from the approved Site Plan drawings.
7. Prior to construction or installation of any encroachments into the building into the Town's rights-of-way, such as signs, lighting or awnings, the Owner shall obtain Town approval of an encroachment permit.
8. All lighting shall be downcast and shielded to comply with Town requirements, and shall be inspected and approved by the Town prior to the issuance of a certificate of occupancy, and if any lighting issues are identified, shall be corrected by the Owner to minimize light pollution.
9. The Owner agrees to reimburse the Town for the Owner's equal share of the construction of the alley in accordance with Colorado law.
10. Prior to building permit, the Owner shall execute an infill agreement with the Town for the public improvements required by this approval.

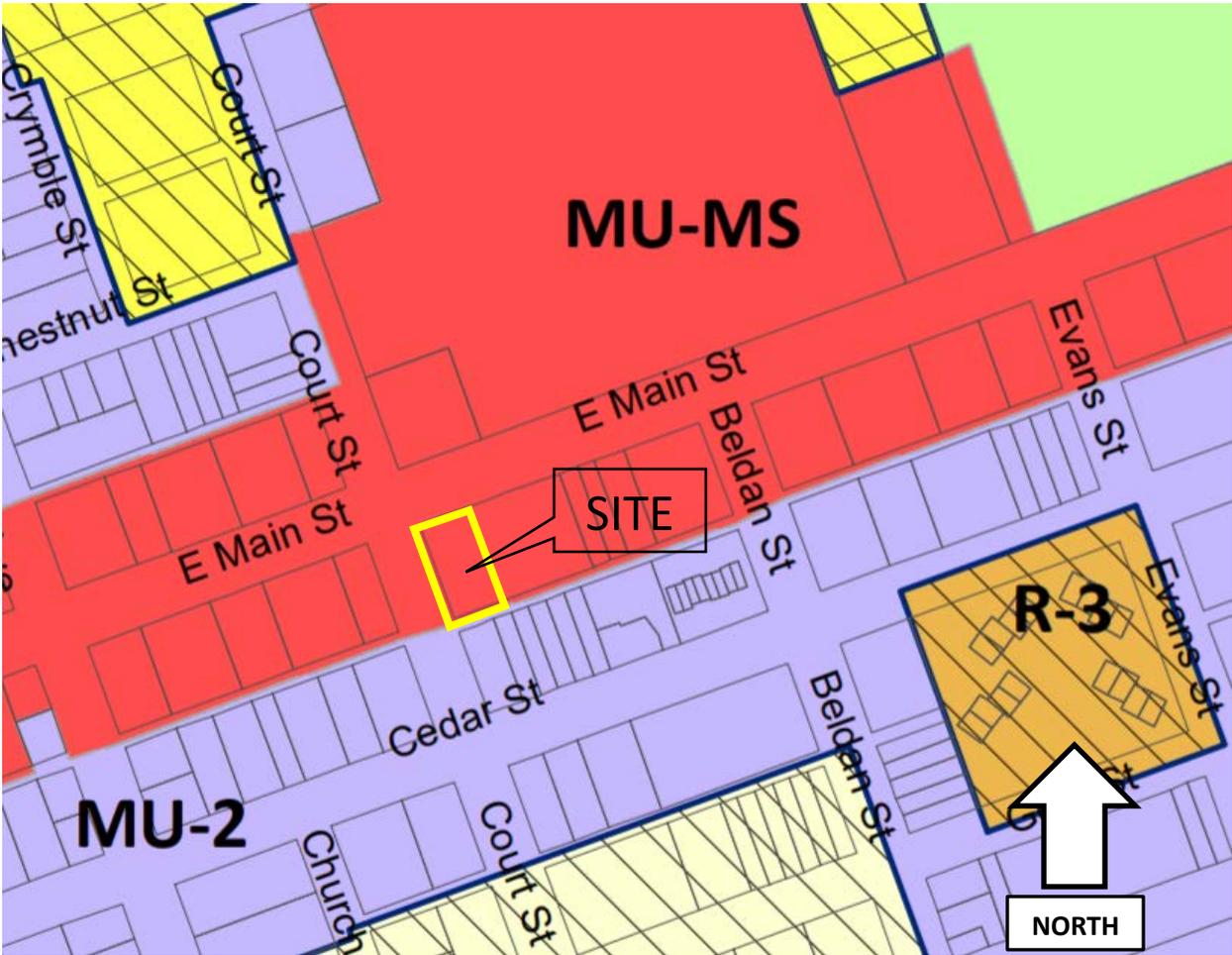
11. Prior to the first Certificate of Occupancy for the proposed development, the following must occur:
  - a. The Property shall be combined from three lots into one lot through a formal subdivision application approved by the Town and recorded at the Chaffee County Clerk and Recorder's office.
  - b. Rooftop equipment shall be screened from view to at least the height of the equipment.
  - c. The public improvements along South Court Street and East Main Street shall be installed, inspected, and preliminarily accepted by the Town.
12. Prior to the installation of any sign or any change of sign face, the Owner or tenant must obtain a sign permit in accordance with the applicable provision of the Code.
13. The Owner shall instruct all tenants that overnight parking is not allowed on East Main Street in its lease materials, and make its tenants known that any vehicles parked overnight on East Main Street may be towed at the owner's expense.
14. The Owner shall instruct all commercial tenants that they shall obtain and maintain business licenses for all businesses prior to and during their use on the Property.
15. The Owner shall instruct all commercial tenants that they must clear and maintain sidewalks abutting the property of snow and ice in accordance with the Town's commercial snow removal requirements in affect.

Cc: Tim Sabo, representative for BV Bus Stop, LLC.  
Address File – 505 E. Main Street

Attachment A - Vicinity Map



Attachment B – Zoning Map



**Attachment C – Site Photos**



**View South from Main Street of 505 E. Main Street.**



**View East from Court Street.**



**View North from 505 E. Main Street.**



**View West from 505 E. Main Street**



View East Along Main Street



View West Along Main Street

**Attachment D – Site Plan Set**

See the following Eighteen (18) sheets, titled “South Court Social Major Site Plan”, from Tim Sabo of Allen-Guerra Architecture.

## SIGNATURE BLOCKS

### Owner's Acknowledgement

The undersigned is the owner (or authorized agent) of the property and has reviewed and approved this site plan. The owner, his/her successors, heirs and assigns are responsible for maintaining this site as approved and will keep all landscaping in living condition in the quantities approved in this plan set as per the Buena Vista Zoning Ordinance.

Signature \_\_\_\_\_ Printed Name and Title \_\_\_\_\_ Date \_\_\_\_\_

### Town of Buena Vista Approval

Approval is valid for three (3) years from the date of the signature below. If a building permit is not issued within three years of the date of approval, this Site Plan will be void and will require a new site plan approval subject to the requirements in effect at the time of resubmittal.

Planning Approval \_\_\_\_\_ Date \_\_\_\_\_

Public Works Approval \_\_\_\_\_ Date \_\_\_\_\_

Town Administrator Approval \_\_\_\_\_ Date \_\_\_\_\_

## SITE DATA

LEGAL DESCRIPTION: LOTS 1, 2 & 3, BLOCK 21, TOWN OF BUENA VISTA, CHAFFEE COUNTY, CO  
PROPOSED LAND USE: MIXED-USE COMMERCIAL AND RESIDENTIAL  
NUMBER OF DWELLING UNITS: 16

ZONING DISTRICT: MU-M5 MIXED USE MAIN STREET DISTRICT  
SETBACKS: REQUIRED PROPOSED  
FRONT: 0' MIN 0' MIN  
SIDE: 0' MIN 0' MIN  
REAR: 0' MIN 0' MIN  
BUILDING HEIGHT: 40' MAX PRIMARY STRUCTURE, 35' SECONDARY STRUCTURE

TOTAL AREA OF PROPERTY: 9,975 SF (0.23 ACRES)  
PROPOSED BUILDING COVERAGE: 8,250 SF (82.7% OF TOTAL SITE AREA)  
TOTAL GROSS FLOOR AREA: 20,987 SF

PARKING: REQUIRED PROPOSED  
PARKING SPACES: 5 6  
HANDICAPPED SPACES: 1 1  
BICYCLE PARKING: YES YES

## BUILDING TYPE AND OCCUPANCY DATA

OCCUPANCY CLASSIFICATION  
FIRST STORY - FUTURE GROUP A-2, A-3, B OR M.  
SECOND STORY - GROUP R-2  
THIRD STORY - GROUP R-2

OCCUPANT LOADS (EACH INDIVIDUAL BUILDING)  
FIRST STORY = TO BE DETERMINED  
SECOND STORY = 20 OCCUPANTS  
THIRD STORY = 20 OCCUPANTS

CONSTRUCTION TYPE:  
TYPE VB CONSTRUCTION  
AUTOMATIC FIRE SPRINKLERS - NFPA 13

EXIT REQUIRED (EACH INDIVIDUAL BUILDING)  
FIRST STORY = TO BE DETERMINED  
SECOND STORY = ONE PER TABLE 1006.3.2(1)  
THIRD STORY = ONE PER TABLE 1006.3.2(1)

## BUENA VISTA SITE NOTES

**PROJECT USE NOTE:**  
THE PROPOSED USE FOR PURPOSES OF THIS SITE PLAN REVIEW ARE GENERAL RETAIL AND LONG-TERM MULTIFAMILY RESIDENTIAL. IF ANY CHANGES TO THOSE USES ARE PROPOSED, THEY WILL BE SUBJECT TO THE BUILDING CODE AND OTHER TOWN REQUIREMENTS, SUCH AS LIQUOR LICENSE REQUIREMENTS, IN EFFECT AT THE TIME OF ANY PROPOSED CHANGE OF USE FOR THE PROPERTY. ANY PROPOSED USE THAT REQUIRES A SPECIAL USE PERMIT SHALL BE REQUIRED TO OBTAIN APPROVAL OF THAT USE PRIOR TO THOSE USES. TOWN DOES NOT GUARANTEE ANY USE THAT REQUIRES A SPECIAL USE PERMIT WILL BE APPROVED. THE OWNER HEREBY AGREES TO APPLY TO THE TOWN FOR ANY CHANGE OF USE PRIOR TO ANY OCCUPANCY THAT RESULTS IN A CHANGE IN USE FROM THE LONG-TERM MULTIFAMILY RESIDENTIAL OR GENERAL RETAIL USE OF THE PROPERTY.

### MAINTENANCE RESPONSIBILITY NOTES:

1. THE OWNER, HEIRS, AND ASSIGNS, INCLUDING ANY TENANTS, SHALL BE RESPONSIBLE FOR PROPER MAINTENANCE OF THE AREA SHOWN ON THE APPROVED SITE PLAN, INCLUDING ANY LANDSCAPED PORTIONS OF RIGHT-OF-WAY ADJOINING THE PROPERTY UP TO THE EDGE OF ASPHALT OR CURB AND ALL AREAS SUBJECT TO THE APPROVED DRAINAGE PLAN.
2. ALL ADJOINING PUBLIC SIDEWALKS ALONG THE FRONTAGE(S) OF THE PROPERTY AND ALL ON-SITE SIDEWALKS SHOWN SHALL BE KEPT FREE AND CLEAR OF ICE AND SNOW BY THE OWNER/TENANTS AS REQUIRED BY THE TOWN OF BUENA VISTA MUNICIPAL CODE.
3. ALL PRIVATE DRAINAGE/RETENTION AREAS SHALL BE KEPT IN GOOD WORKING CONDITION AS SHOWN ON THE APPROVED PLANS.
4. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED, INCLUDING NECESSARY WATERING, PRUNING, WEEDING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIALS. REPLACEMENT OF DEAD OR DISEASED PLANT MATERIALS SHALL BE OF THE SAME TYPE OF PLANT MATERIAL SHOWN ON THE APPROVED SITE PLAN. FOR EXAMPLE, A TREE SHALL REPLACE A TREE, A SHRUB SHALL REPLACE A SHRUB, GROUND COVER REPLACING GROUND COVER, ETC. REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN ANY EVENT, SUCH REPLACEMENT SHALL NOT EXCEED ONE YEAR. ANY REPLACEMENT WHICH CONFORMS TO THIS SECTION SHALL NOT BE CONSIDERED AN AMENDMENT TO THE SITE PLAN.
5. ANY OFF-SITE LANDSCAPING DISTURBED BY THE DEVELOPMENT OF THIS SITE WILL BE REPLACED TO ITS ORIGINAL CONDITION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
6. ANY SEEDING SHALL BE REQUIRED TO BE INSTALLED AND MAINTAINED TO OBTAIN GERMINATION OF AT LEAST 70 PERCENT PER SQUARE FOOT OF ANY SEEDED AREAS. IF ANY AREAS DO NOT ACHIEVE THAT MINIMUM, REINSTALLATION OF SEEDING SHALL BE REQUIRED UNTIL THAT MINIMUM GERMINATION HAS BEEN ACHIEVED, INSPECTED AND APPROVED BY TOWN INSPECTORS.

**SITE CLEAN UP NOTE:**  
THE SITE SHALL BE CLEANED OF ALL CONSTRUCTION DEBRIS, MUD, EXCAVATION SPOILS, BUILDING MATERIALS, DUMPSTERS, CONSTRUCTION FENCING, CONSTRUCTION TRAILERS, AND PORTA-LETS PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. IF ANY CIRCUMSTANCES OCCUR THAT DO NOT ALLOW THEM TO BE REMOVED, WRITTEN APPROVAL FROM THE PLANNING DEPARTMENT WILL BE REQUIRED AFTER AN INSPECTION OF THE SITE.

**HANDICAPPED / TRAFFIC SIGNS NOTE:**  
ALL FREESTANDING SIGNS SHALL BE PLACED AT LEAST 64" ABOVE THE SURROUNDING GRADE TO THE BOTTOM EDGE OF THE SIGN TO PREVENT CONFLICTS WITH PEDESTRIANS ON THE SITE.

**SIGN AND FENCE NOTE:**  
ALL SIGNS AND FENCES SHOWN IN THE SITE PLAN ARE SUBJECT TO A SEPARATE BUILDING PERMIT FROM THE BUILDING PERMIT. ALL SIGNS AND FENCES SHALL MEET THE BUENA VISTA MUNICIPAL CODE IN EFFECT AT THE TIME OF EACH PERMIT APPLICATION.

**FLOODPLAIN NOTE:**  
THE SITE LIES OUTSIDE THE REGULATED FLOODPLAIN ZONE A FLOOD INSURANCE RATE MAP CHAFFEE COUNTY, COLORADO PANEL 307 OF 725 MAP NUMBER 08015C0307D EFFECTIVE DATE DECEMBER 7, 2017.

**SITE COMPLIANCE NOTE:**  
A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED BY CHAFFEE COUNTY BUILDING DEPARTMENT UNTIL THE TOWN OF BUENA VISTA HAS VERIFIED THAT ALL ON-SITE AND PUBLIC IMPROVEMENTS SUCH AS GRADING, DRAINAGE, PARKING, SIDEWALKS, LANDSCAPING AND ALL OTHER FEATURES THAT APPEAR ON THIS APPROVED SITE PLAN HAVE BEEN COMPLETED, INSPECTED AND APPROVED BY THE TOWN. IN THE EVENT THAT CONDITIONS PRECLUDE THE COMPLETION OF ANY REQUIRED ON-SITE OR PUBLIC IMPROVEMENTS, THE PROVISIONS OF CHAPTERS 16 AND 17 OF THE TOWN OF BUENA VISTA MUNICIPAL CODE SHALL APPLY.

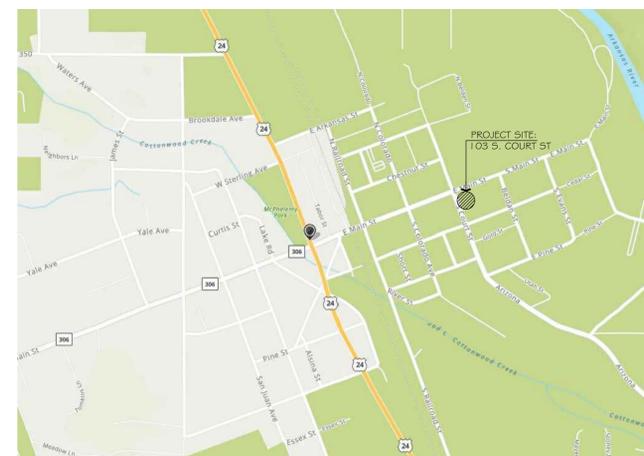
**LIGHTING NOTE:**  
ALL LIGHTING SHALL BE DOWNCAST AND SHIELDED TO MINIMIZE LIGHT POLLUTION AND IMPACTS TO OTHER PROPERTIES. LIGHTING SHALL BE INSTALLED AS SHOWN ON THE APPROVED PLANS AND SHALL NOT BE ACCEPTED IF THEY ARE ALTERED OR CREATE DIRECT GLARE ON ADJOINING PROPERTIES. ANY ALTERATIONS WILL REQUIRE APPROVAL FROM TOWN BEFORE INSTALLATION AND MAY REQUIRE ALTERATION TO ACHIEVE TOWN REQUIREMENTS INCLUDING ADDITIONAL SHIELDING, DIFFUSION OF LIGHTING AND/OR REDUCTION OF LUMENS TO ACHIEVE COMPLIANCE WITH THE TOWN'S LIGHTING REQUIREMENTS IN THE MUNICIPAL CODE.

# SOUTH COURT SOCIAL

LOT 1, 2 & 3 . BLOCK 21 . TOWN OF BUENA VISTA  
CHAFFEE COUNTY . COLORADO . 81211



## LOCATION MAP



## PROJECT DIRECTORY

**OWNER**  
BV BUS STOP, LLC  
9233 PARK MEADOWS DR STE 219  
BRECKENRIDGE, COLORADO . 80443  
T: 703.822.3067

**GENERAL CONTRACTOR**  
HIGHLINE BUILDERS  
1208 E ST  
SALIDA, CO . 81201  
T: 719.207.0137

**ARCHITECT**  
ALLEN-GUERRA ARCHITECTURE  
711 B GRANITE ST  
PO BOX 5540  
FRISCO, COLORADO . 80443  
T: 970.453.7002

**CIVIL ENGINEER**  
ALPINE ENGINEERING, INC  
3451 O HWY G / UNIT A9 / PO BOX 97  
EDWARDS, COLORADO . 81632  
T: 970.926.3373

**STRUCTURAL ENGINEER**  
REG - RESOURCE ENGINEERING GROUP  
502 WHITE ROCK AVE . SUITE 2  
CRESTED BUTTE, CO . 81224  
T: 970.349.1216

**GEOTECHNICAL ENGINEER**  
MOUNTAIN ENGINEERING AND TESTING  
1537 G ST  
SALIDA, CO . 81201  
T: 719.539.2312

**MECH/ELEC/PLUMBING ENGINEER**  
REG - RESOURCE ENGINEERING GROUP  
502 WHITE ROCK AVE . SUITE 2  
CRESTED BUTTE, CO . 81224  
T: 970.349.1216

**SURVEYOR**  
TOP OF THE LINE SURVEYS  
PO BOX 5146  
BUENA VISTA, COLORADO . 81211  
T: 719.395.6630

## SHEET INDEX

INFO	INFORMATION SHEET
A1.1	SITE PLAN
C1.0	EXISTING CONDITIONS AND DEMO
C2.0	GRADING AND DRAINAGE PLAN
C3.0	UTILITY PLAN
C4.0	EROSION CONTROL PLAN
C5.0	DETAILS
C5.1	DETAILS
C5.2	DETAILS
A2.1	GROUND LEVEL FLOOR PLAN
A2.2	SECOND LEVEL FLOOR PLAN
A2.3	THIRD LEVEL FLOOR PLAN
A3.1	NORTH AND WEST EXTERIOR ELEVATIONS
A3.2	SOUTH AND EAST EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS FACING COURTYARD
A3.3	PERSPECTIVE VIEWS

TOPOGRAPHICAL SURVEY



ALLEN-GUERRA ARCHITECTURE  
711 B GRANITE STREET  
PO BOX 5540  
FRISCO, COLORADO 80443  
PH: 970.453.7002  
E-MAIL: INFO@ALLEN-GUERRA.COM  
WEBSITE: WWW.ALLEN-GUERRA.COM

SOUTH COURT SOCIAL  
LOTS 1, 2 & 3 . BLOCK 21 . TOWN OF BUENA VISTA  
103 SOUTH COURT STREET . BUENA VISTA . CHAFFEE COUNTY . COLORADO  
TITLE: INFORMATION SHEET

ISSUE	DATE
REVIEW	10 APRIL 2020
SITE PLAN REV	19 JUNE 2020

PROJECT #: 1977

INFO



NOTE: REFER TO CIVIL DRAWINGS FOR INFO REGARDING GRADING, DRAINAGE, PAVING, UTILITIES, TREE GRATES, STREET LIGHTS, ETC

1 SITE PLAN  
1" = 10'-0"



ALLEN-GUERRA ARCHITECTURE  
780 GRANITE STREET  
PO BOX 5540  
FRISCO COLORADO 80443  
PH: 970.453.7000 FAX: 970.453.7040  
E-MAIL: INFO@ALLEN-GUERRA.COM  
WEB SITE: WWW.ALLEN-GUERRA.COM

SOUTH COURT SOCIAL  
LOTS 1, 2 & 3 . BLOCK 21 . TOWN OF BUENA VISTA  
013 SOUTH COURT STREET . BUENA VISTA . CHAFFEE COUNTY, CO

TITLE  
SITE PLAN

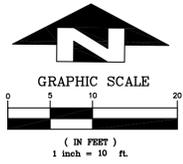
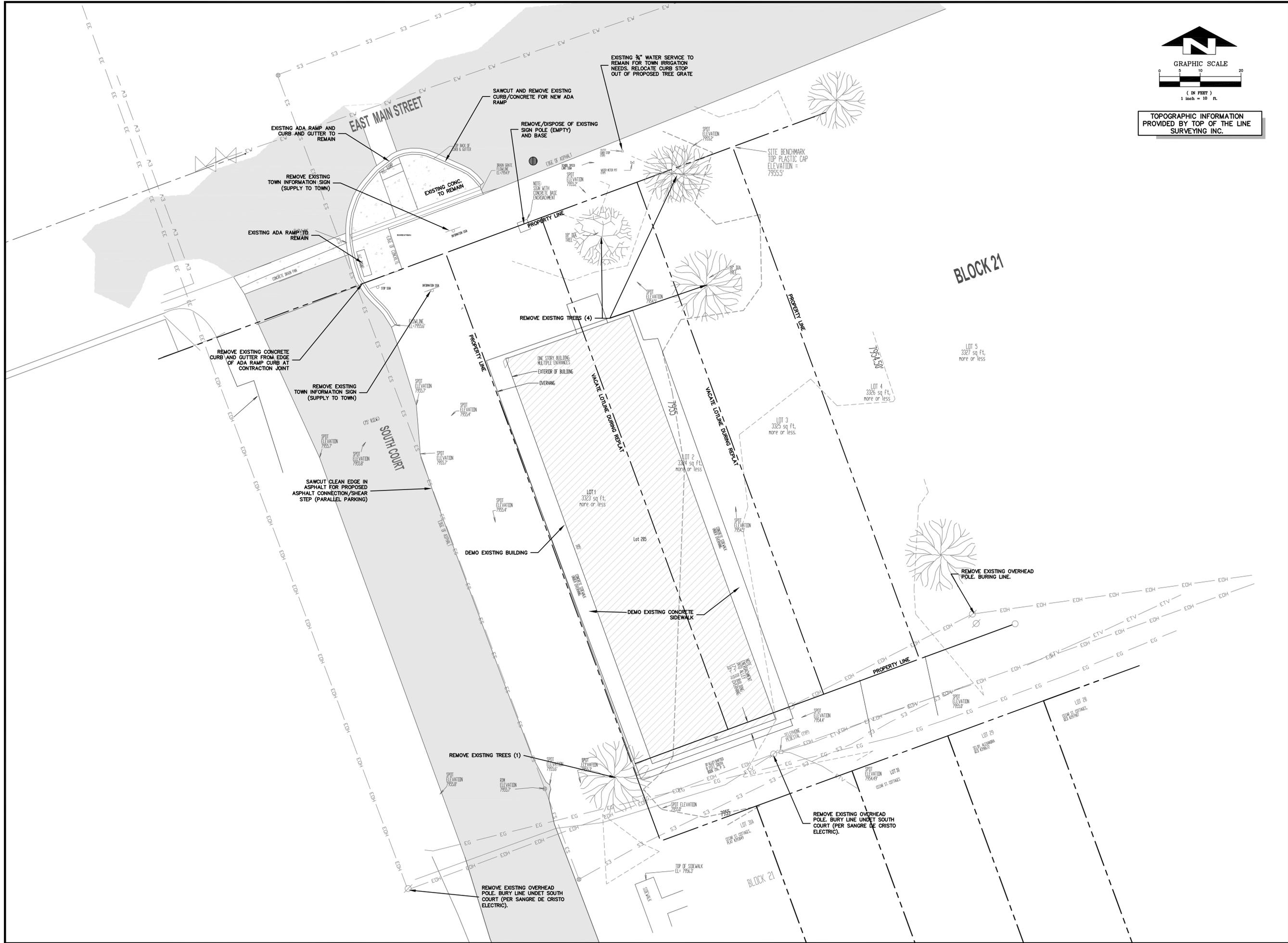
COPYRIGHT AS AN UNPUBLISHED WORK. REUSE OR REPRODUCTION PROHIBITED WITHOUT WRITTEN CONSENT OF ARCHITECT

ISSUE	DATE
CONCEPT	21 FEB 2020
PROGRESS	2 APRIL 2020
SITE PLAN APP	14 APRIL 2020
SITE PLAN REV	19 JUNE 2020

PROJECT # 1977

ALL

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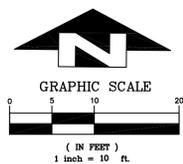
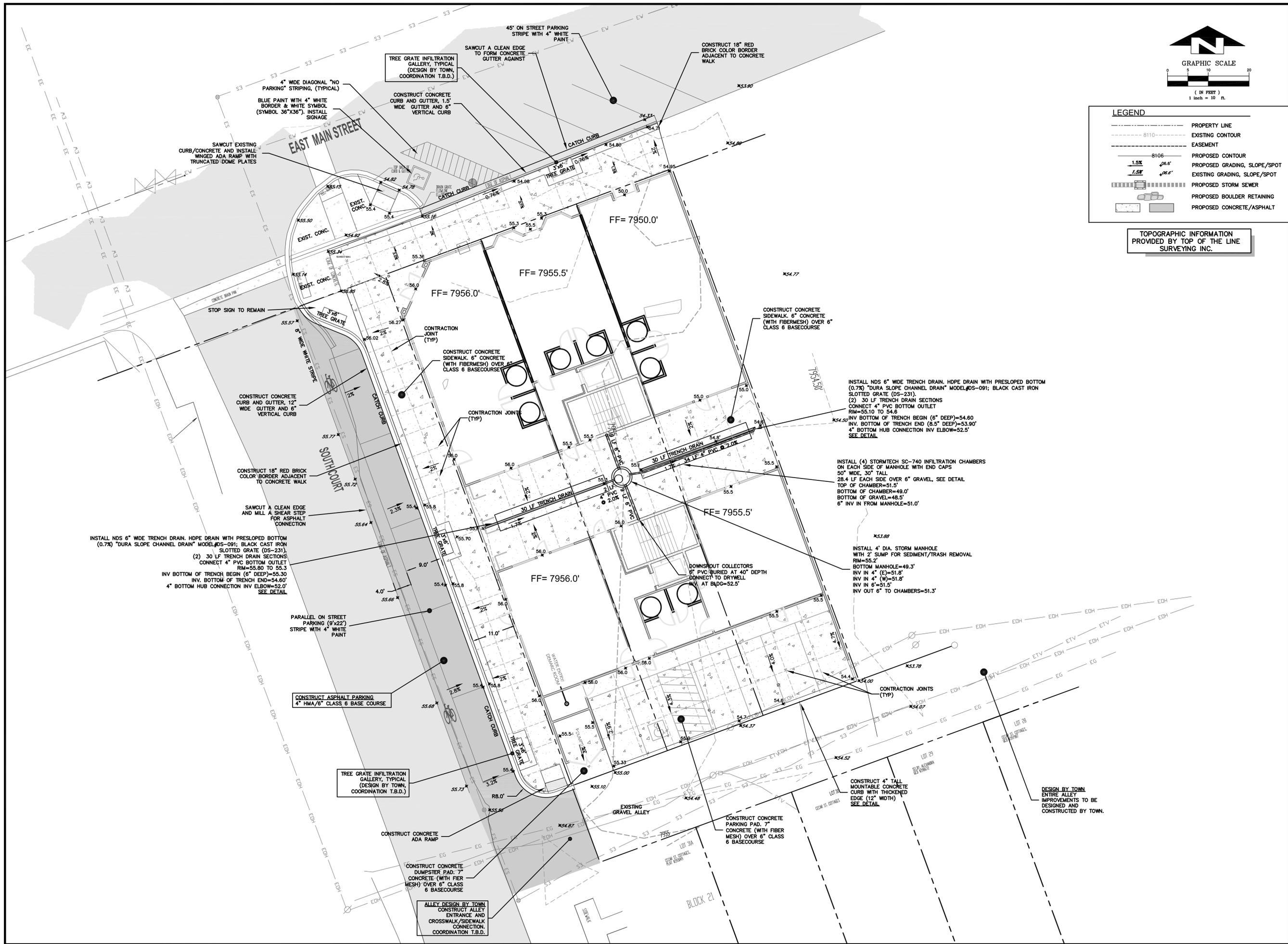
TOPOGRAPHIC INFORMATION  
PROVIDED BY TOP OF THE LINE  
SURVEYING INC.

(SEAL)

**South Court Social**  
103 Court Street  
Buena Vista, CO  
Existing Conditions, and Demo

NO.	DATE	REVISIONS	BY
	04/14/20	SITE PLAN APP	MCW
	06/19/20	COMMENT RESPONSE	MCW

DESIGNED	XXX
DRAWN	XXX
CHECKED	XXX
JOB NO.	XXX
DATE	XX/XX/XXXX



**LEGEND**

	PROPERTY LINE
	EXISTING CONTOUR
	EASEMENT
	PROPOSED CONTOUR
	PROPOSED GRADING, SLOPE/SPOT
	EXISTING GRADING, SLOPE/SPOT
	PROPOSED STORM SEWER
	PROPOSED BOULDER RETAINING
	PROPOSED CONCRETE/ASPHALT

TOPOGRAPHIC INFORMATION PROVIDED BY TOP OF THE LINE SURVEYING INC.

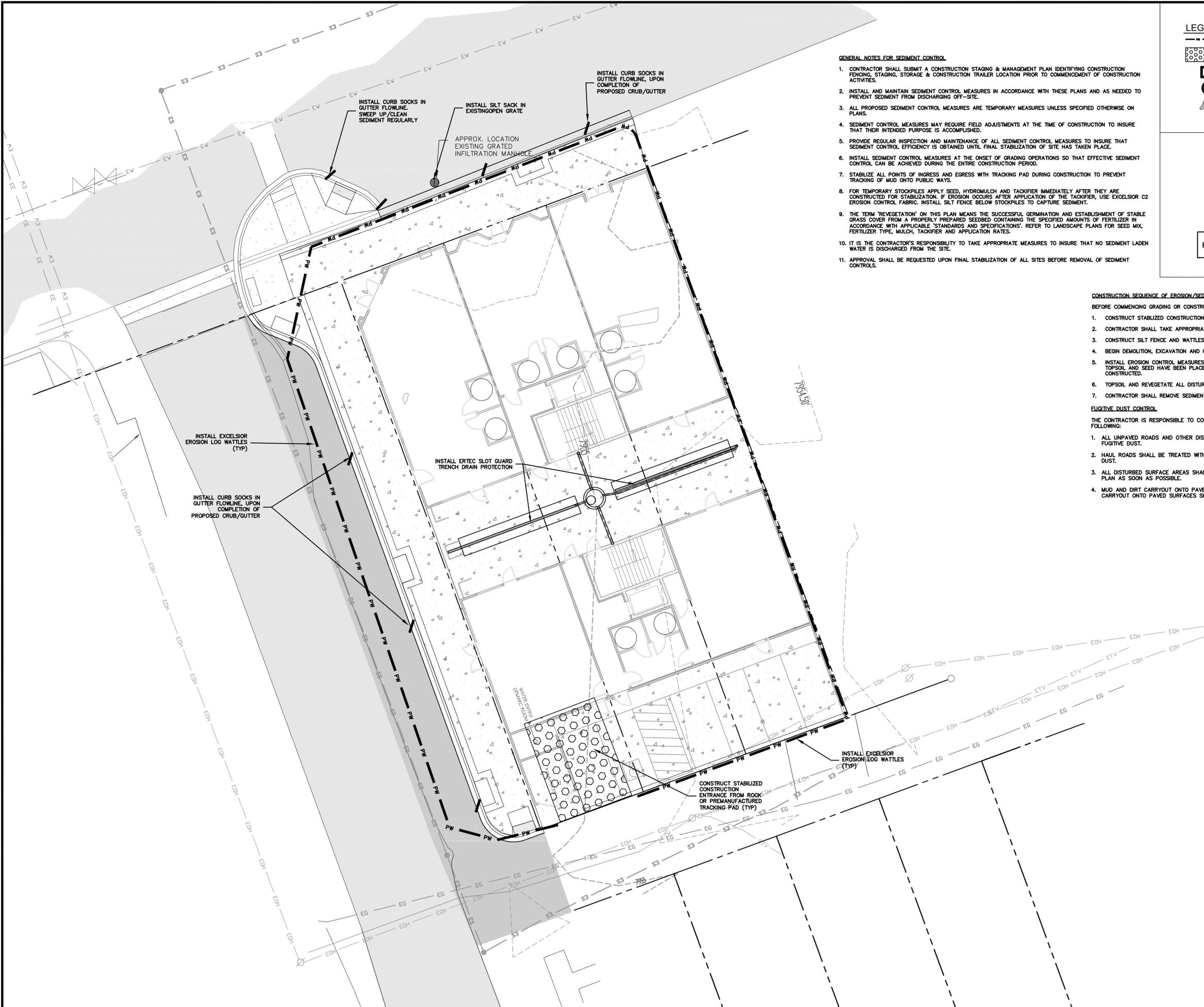
**South Court Social**  
 103 Court Street  
 Buena Vista, CO  
 Grading and Drainage Plan

NO.	DATE	REVISIONS	BY
	04/14/20	SITE PLAN APP	MCW
	06/19/20	COMMENT RESPONSE	MCW

DESIGNED	XXX
DRAWN	XXX
CHECKED	XXX
JOB NO.	XXX
DATE	XX/XX/XXXX

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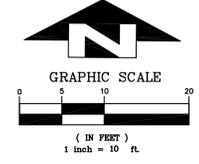


**GENERAL NOTES FOR SEDIMENT CONTROL**

1. CONTRACTOR SHALL SUBMIT A CONSTRUCTION STAGING & MANAGEMENT PLAN IDENTIFYING CONSTRUCTION FENCING, STAGING, STORAGE & CONSTRUCTION TRAILER LOCATION PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. INSTALL AND MAINTAIN SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS AND AS NEEDED TO PREVENT SEDIMENT FROM DISCHARGING OFF-SITE.
3. ALL PROPOSED SEDIMENT CONTROL MEASURES ARE TEMPORARY MEASURES UNLESS SPECIFIED OTHERWISE ON PLANS.
4. SEDIMENT CONTROL MEASURES MAY REQUIRE FIELD ADJUSTMENTS AT THE TIME OF CONSTRUCTION TO INSURE THAT THEIR INTENDED PURPOSE IS ACCOMPLISHED.
5. PROVIDE REGULAR INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES TO INSURE THAT SEDIMENT CONTROL EFFICIENCY IS OBTAINED UNTIL FINAL STABILIZATION OF SITE HAS TAKEN PLACE.
6. INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING OPERATIONS SO THAT EFFECTIVE SEDIMENT CONTROL CAN BE ACHIEVED DURING THE ENTIRE CONSTRUCTION PERIOD.
7. STABILIZE ALL POINTS OF INGRESS AND EGRESS WITH TRACKING PAD DURING CONSTRUCTION TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.
8. FOR TEMPORARY STOCKPILES APPLY SEED, HYDROMULCH AND TACKIFIER IMMEDIATELY AFTER THEY ARE CONSTRUCTED FOR STABILIZATION. IF EROSION OCCURS AFTER APPLICATION OF THE TACKIFIER, USE EXCELSIOR C2 EROSION CONTROL FABRIC. INSTALL SILT FENCE BELOW STOCKPILES TO CAPTURE SEDIMENT.
9. THE TERM "REVEGETATION" ON THIS PLAN MEANS THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF FERTILIZER IN ACCORDANCE WITH APPLICABLE "STANDARDS AND SPECIFICATIONS". REFER TO LANDSCAPE PLANS FOR SEED MIX, FERTILIZER TYPE, MULCH, TACKIFIER AND APPLICATION RATES.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE APPROPRIATE MEASURES TO INSURE THAT NO SEDIMENT LADEN WATER IS DISCHARGED FROM THE SITE.
11. APPROVAL SHALL BE REQUESTED UPON FINAL STABILIZATION OF ALL SITES BEFORE REMOVAL OF SEDIMENT CONTROLS.

**LEGEND**

- EROSION LOG WATTLES
- STABILIZED CONSTRUCTION ENTRANCE
- SILT SACK INLET PROTECTION
- INLET EROSION LOG WITH SACK
- DITCH EROSION LOG



TOPOGRAPHIC INFORMATION PROVIDED BY TOP OF THE LINE SURVEYING INC.

**CONSTRUCTION SEQUENCE OF EROSION/SEDIMENT CONTROL MEASURES**

- BEFORE COMMENCING GRADING OR CONSTRUCTION
1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AT ALL POINTS OF INGRESS AND EGRESS.
  2. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE THAT NO SEDIMENT LEAVES THE SITE.
  3. CONSTRUCT SILT FENCE AND WATTLES AND ALL SEDIMENT CONTROL DEVICES.
  4. BEGIN DEMOLITION, EXCAVATION AND CONSTRUCTION.
  5. INSTALL EROSION CONTROL MEASURES AFTER DITCHES AND SWALES HAVE BEEN CONSTRUCTED AND TOPSOIL AND SEED HAVE BEEN PLACED. INSTALL INLET PROTECTION IN ALL INLETS AS THEY ARE CONSTRUCTED.
  6. TOPSOIL AND REVEGETATE ALL DISTURBED AREAS WITH APPROVED SEED MIX PER LANDSCAPE PLAN.
  7. CONTRACTOR SHALL REMOVE SEDIMENT CONTROL FACILITIES AFTER FINAL STABILIZATION.

**FUGITIVE DUST CONTROL**

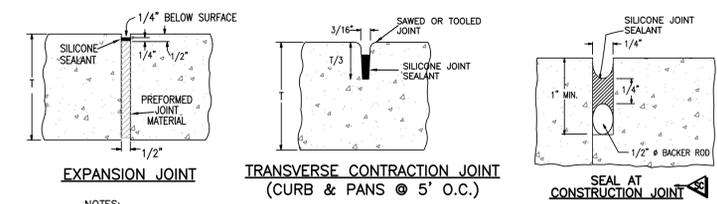
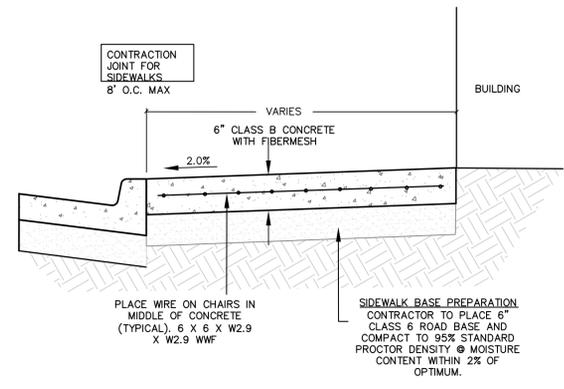
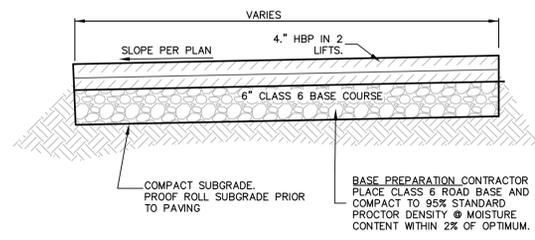
- THE CONTRACTOR IS RESPONSIBLE TO CONTROL FUGITIVE DUST AND TO INCORPORATE THE FOLLOWING:
1. ALL UNPAVED ROADS AND OTHER DISTURBED AREAS ON SITE SHALL BE WATERED TO MINIMIZE FUGITIVE DUST.
  2. HAUL ROADS SHALL BE TREATED WITH MAGNESIUM CHLORIDE IF WATER IS NOT CONTROLLING THE DUST.
  3. ALL DISTURBED SURFACE AREAS SHALL BE REVEGETATED OR SURFACED PER THE LANDSCAPE PLAN AS SOON AS POSSIBLE.
  4. MUD AND DIRT CARRYOUT ONTO PAVED SURFACES SHALL BE PREVENTED. ANY MUD AND DIRT CARRYOUT ONTO PAVED SURFACES SHALL BE CLEANED UP DAILY.

(SEAL)

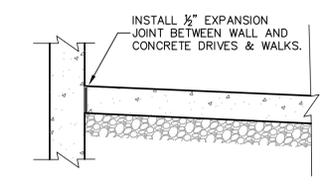
**South Court Social**  
 103 Court Street  
 Buena Vista, CO  
 Erosion Control Plan

NO.	DATE	REVISIONS	BY
	04/14/20	SITE PLAN APP	MCW
	06/19/20	COMMENT RESPONSE	MCW
DESIGNED	MCW	MCW	RIF
DRAWN	MCW	MCW	XXX
CHECKED	MCW	MCW	XXX
JOB NO.	XXX	XXX	XXX
DATE	XX/XX/XXXX	XX/XX/XXXX	XX/XX/XXXX

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- NOTES:  
1. CONCRETE SHALL BE CLASS P  
2. JOINTS IN PANS AND CURB & GUTTER SHALL BE CONSTRUCTED TO ALIGN WITH JOINTS IN ADJACENT PAVEMENT.  
3. EXPANSION JOINTS SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURE. EXPANSION JOINT MATERIAL SHALL BE 1/2 IN. THICK AND SHALL EXTEND THE FULL DEPTH OF CONTACT SURFACE.  
4. TIE BARS ARE REQUIRED WHERE CURB OR GUTTER OR CONCRETE PAN IS ADJACENT TO CONCRETE PAVEMENT, THE GUTTER THICKNESS SHALL BE INCREASED TO THE PAVEMENT THICKNESS (T). BARS SHALL BE 30" LONG, EPOXY-COATED, #4 CONFORMING TO AASHTO M 284 AND SPACED AT 2.5 FT. INTERVALS. THEY SHALL BE INSERTED 1/2 AND 1/2 LENGTH INTO GUTTER.  
5. INSTALL 30" #4 TIE BARS @ 30 O.C. AT ALL CONCRETE CONSTRUCTION JOINTS.



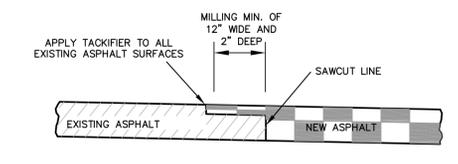
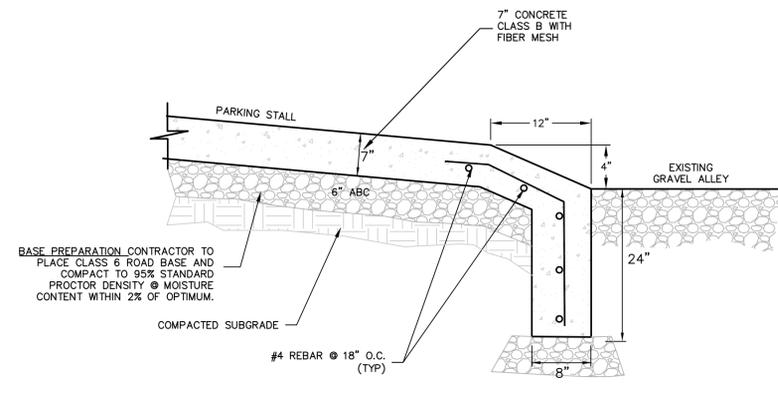
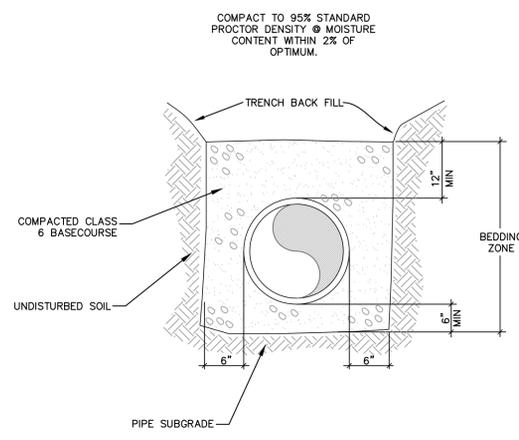
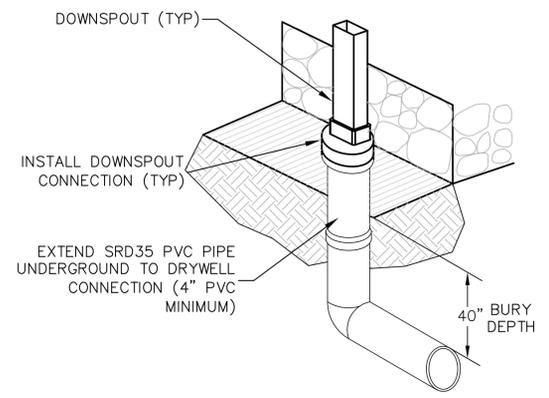
N.T.S.

**A ASPHALT ROAD**

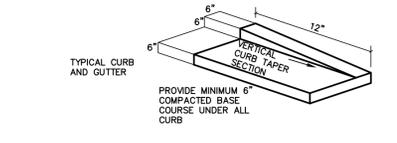
**B CONCRETE SIDEWALK**

**C CONCRETE JOINTS**

**D EXPANSION JOINT AT BUILDING**



**H SHEAR STEP**

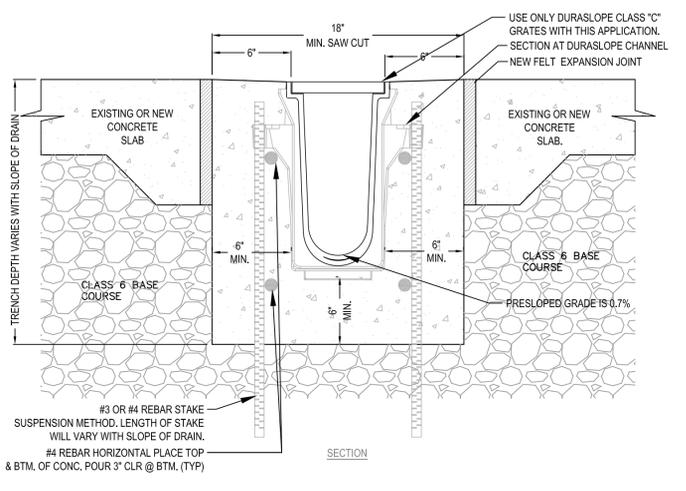
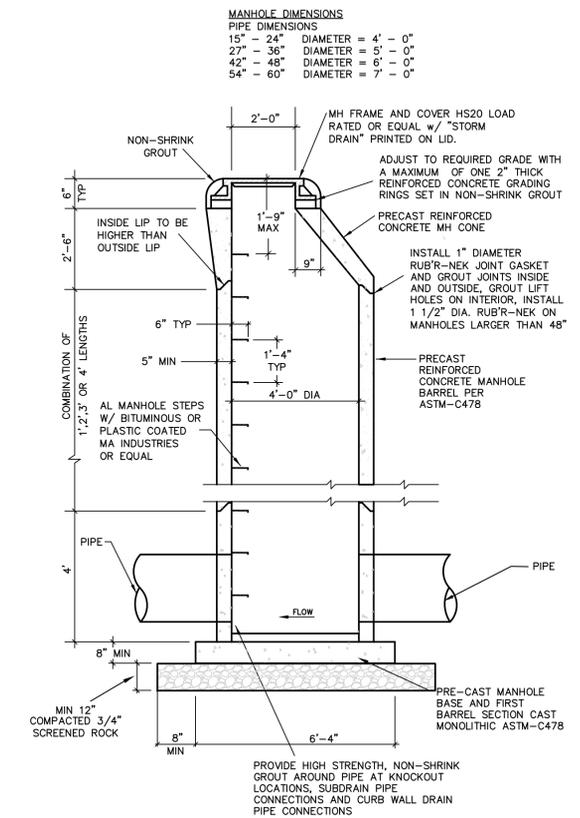
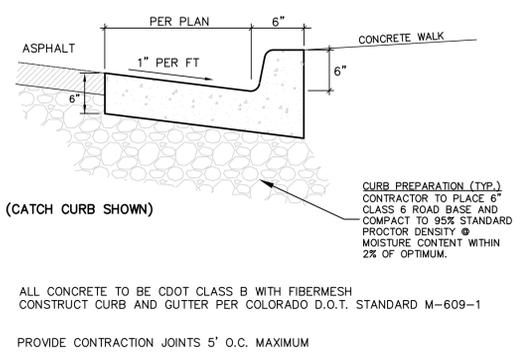


**E DOWNSPOUT CONNECTION**

**F CULVERT BEDDING**

**G COVERED CONCRETE PARKING DETAIL**

**I CURB TAPER**



- NOTES:  
1. CHANNELS TO BE INSTALLED WITH BLANK GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR (COVER HOLES WITH TAPE).  
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
3. DO NOT SCALE DRAWINGS.  
4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.  
5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

**DURA SLOPE TRENCH DRAIN SYSTEM**  
DURA SLOPE INSTALLATION DETAIL - CLASS "C" 6" ENCASMENT, REBAR SUSPENSION METHOD

NDS, INC.  
851 NORTH HARVARD AVE.  
LINDSAY, CA 93247  
TOLL FREE: 1-800-726-1994  
PHONE: (559) 562-9888  
FAX: (559) 562-4488

INSTALL NDS 6" WIDE TRENCH DRAIN, HDPE DRAIN WITH PRESLOPED BOTTOM "DURA SLOPE CHANNEL DRAIN" MODEL JDS-091  
BLACK DUCTILE IRON GRATE COVERS (FRAME IN 4FT SECTIONS, COVERS IN 2FT SECTIONS)

**ERTEC** ENVIRONMENTAL SYSTEMS  
**Slot Guard™** Trench/Slot Inlet Protection  
Slot Guard is a patent-pending, low cost system designed to keep sediment and debris out of slot or trench drain inlets in paved areas. Slot Guard is a better alternative to installing gravel bags on open slots during construction. The berm layer forces water to rise to at least one inch before reaching the filter causing heavier particles to settle. The system filters storm water above the ground easing visual inspection and maintenance. The system has a high flow bypass designed to reduce the chance of back-ups. It is easy to fasten to the grate with zip ties. Has a long life, is resistant to traffic, and reusable. During installation or cleaning, the grate does not need to be removed, reducing installer injuries.

Product Characteristics  
Module weight (average lbs. per sq. ft.) 0.5  
Functional (in the rain) YES  
Reusable YES  
Recycle Material Content (minimum) 60%  
Easy to clean YES

Water Seal Encasement Drain & Filter Cover for excellent contact with surface  
100% American Content / Labor  
Recyclable

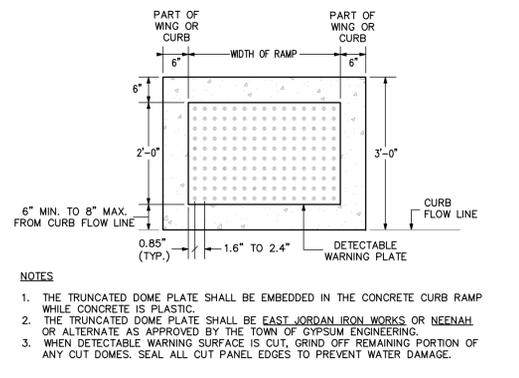
Product Designation  
SG 84x05  
SG 84x12  
SG 84x15  
SG 84x20

Fits Grate Size:  
Slot or Trench Grates up to 6" wide  
Slot or Trench Grates up to 12" wide  
Slot or Trench Grates up to 15" wide  
Slot or Trench Grates up to 20" wide

Product Benefits  
Fast installation  
Above street, easy to inspect & clean  
Stands up to traffic  
Lower costs  
Long life, UV stable  
Durable - semi-permanent  
One installation per project

H20948 Updated 04/17  
80015-17 ERTEC Environmental Systems (909) 521-0724 www.ertecinc.com

**J 6" VERTICAL CURB & GUTTER**



**K DETECTABLE WARNING PLATES**

**L STORM SEWER MANHOLE**

**M TRENCH DRAIN**

**N ERTEC TRENCH DRAIN PROTECTION**

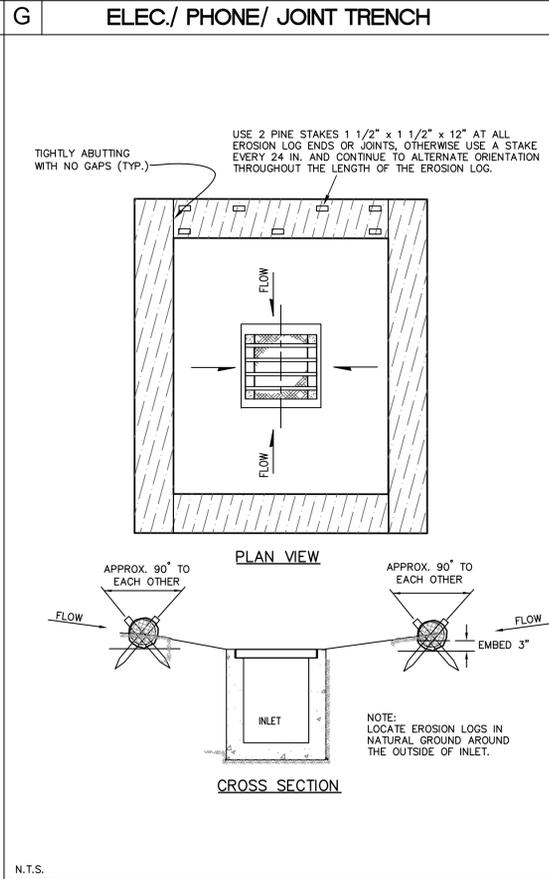
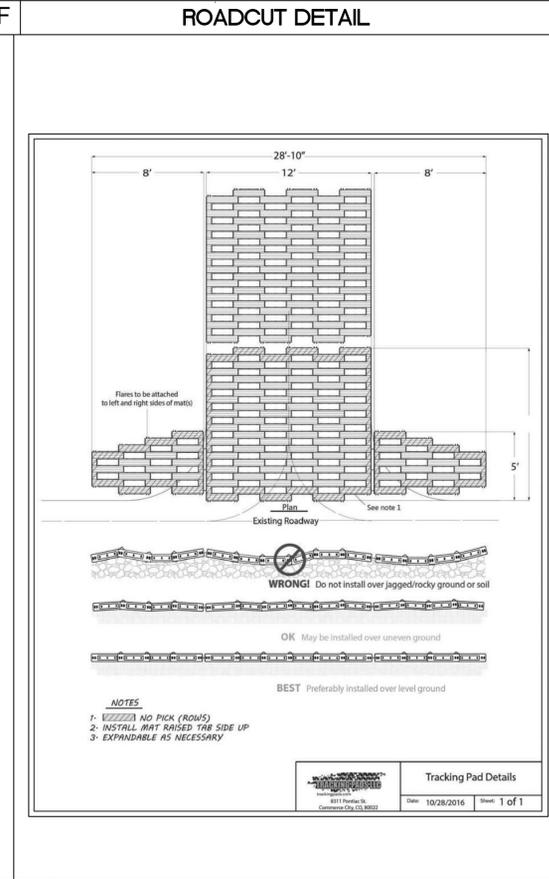
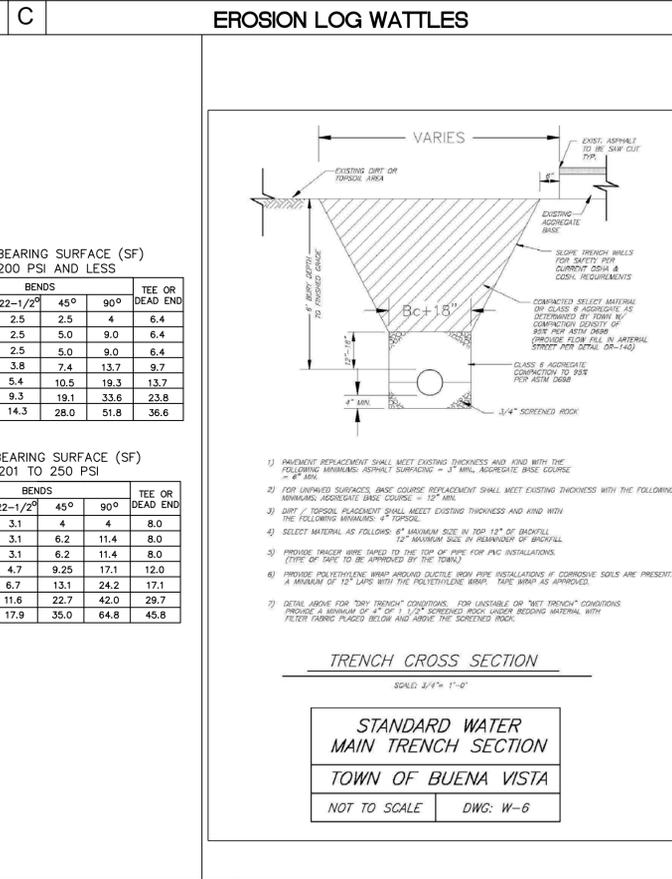
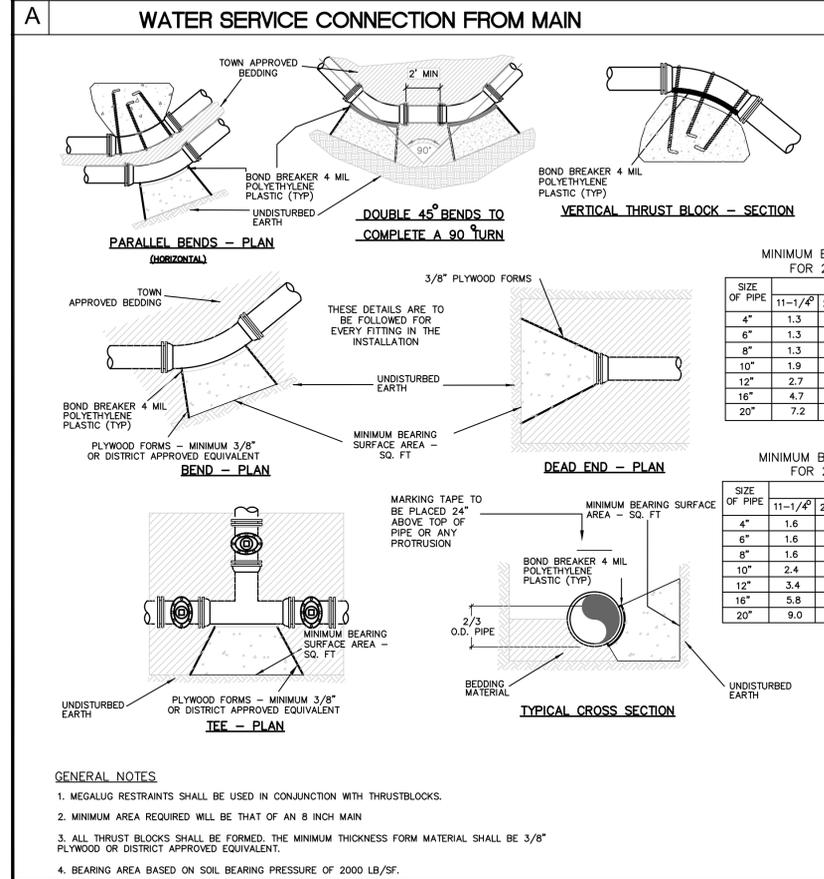
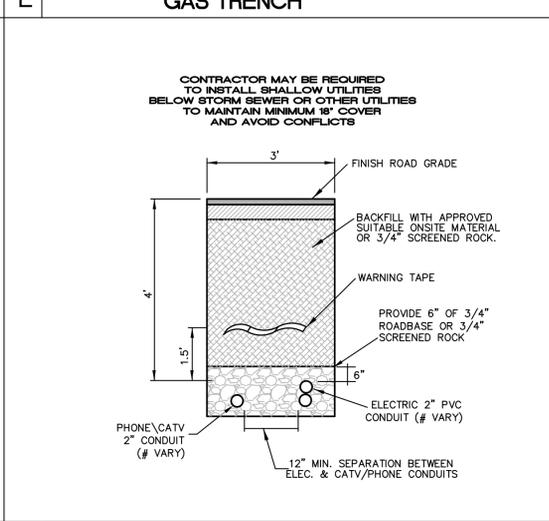
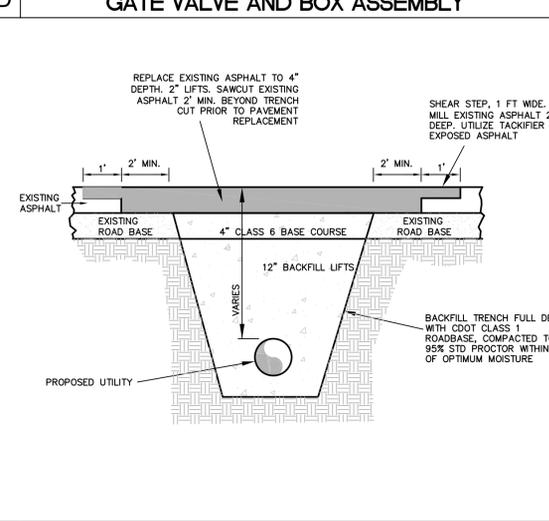
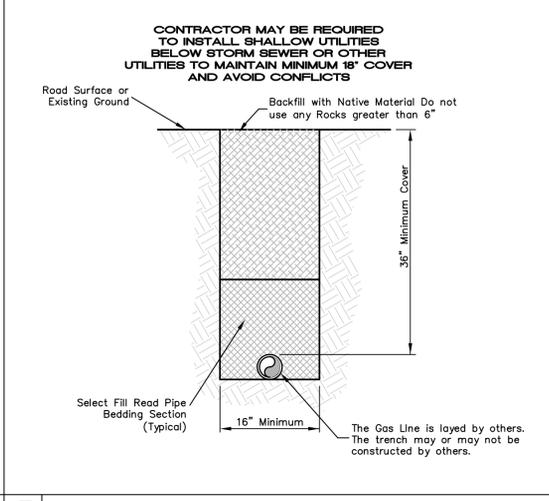
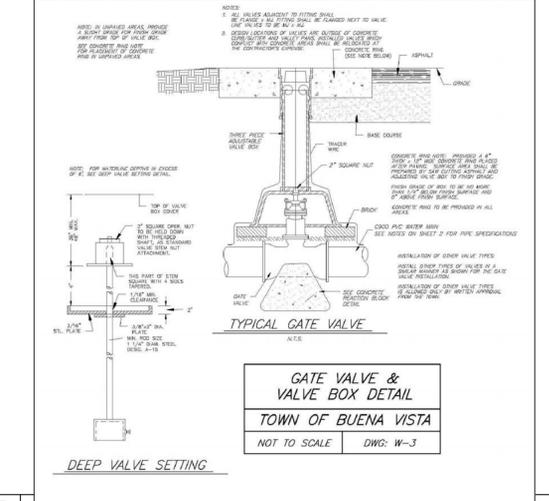
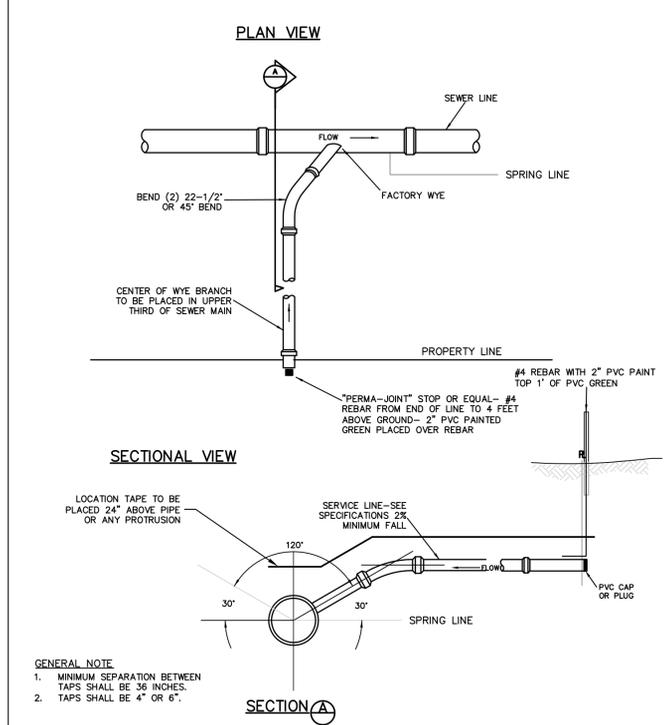
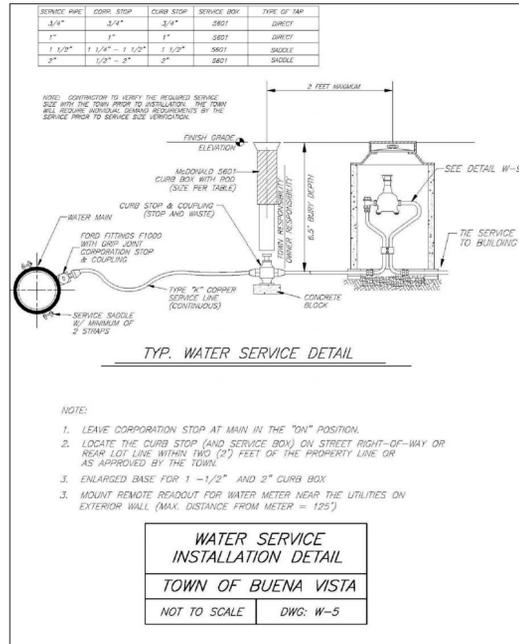
**South Court Social**  
103 Court Street  
Buena Vista, CO  
Details

BY	MCRL	REVISIONS	
DATE	04/14/20	SITE PLAN APP.	
NO.	06/21/20	COMMENT RESPONSE	
DESIGNED XXX	XXX		
DRAWN XXX	XXX		
CHECKED XXX	XXX		
JOB NO. XXX	XXX		
DATE	XX/XX/XXXX		

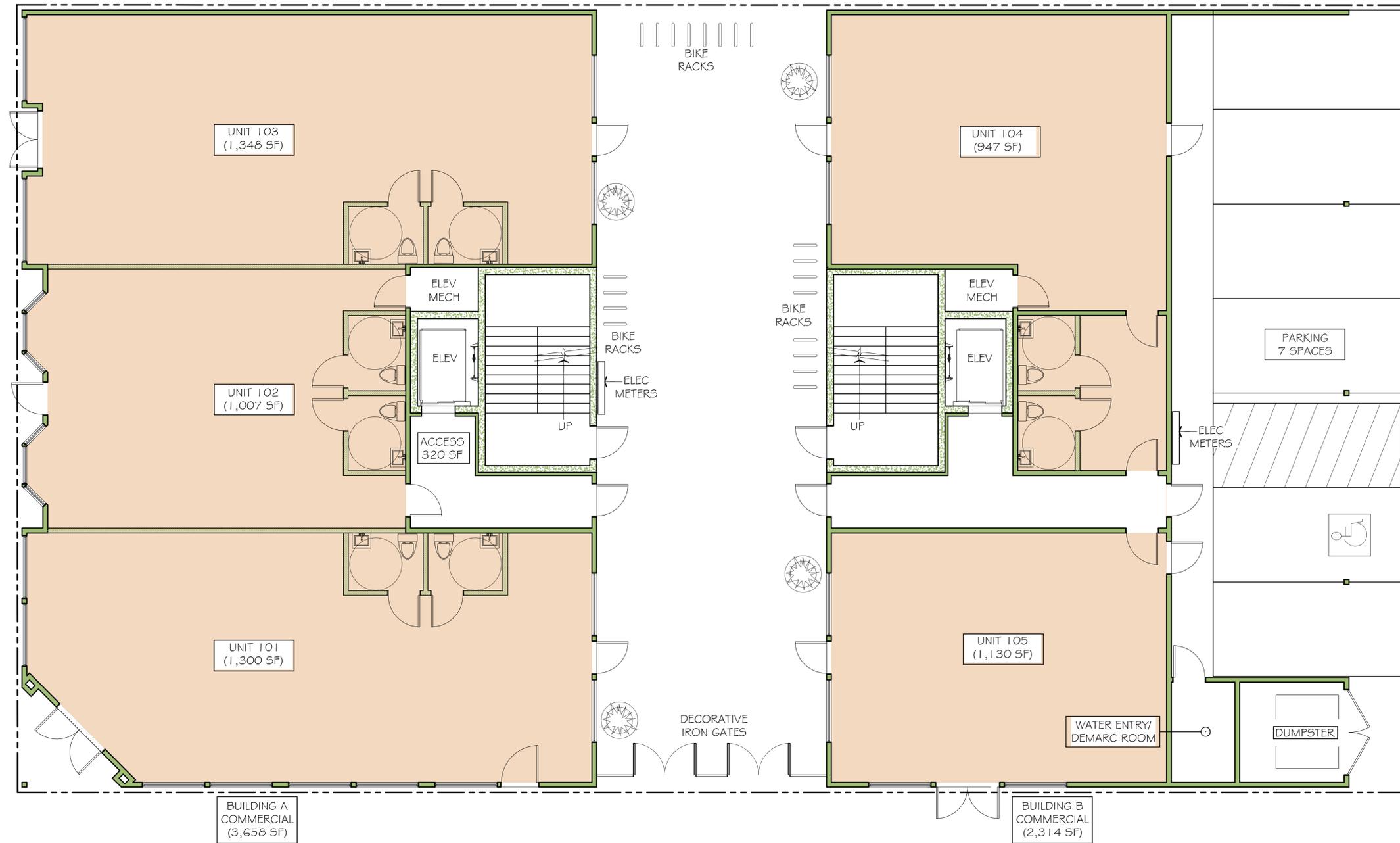
**SHEET C5.0**

C:\Buena Vista\South Court - 2020\dwg\Master\Details-103 Court S\Draw\_61172020 9:19:56 AM\_wednesday

NO.	DATE	REVISIONS	BY
	04/14/20	SITE PLAN APP.	MCW
	06/19/20	COMMENT RESPONSE	MCW







**GROUND FLOOR AREA CALCULATIONS**

UNIT	AREA
101	1,300 SF
102	1,007 SF
103	1,348 SF
104	947 SF
105	947 SF
5	5,549 SF
	640 SF ACCESS
	<b>6,189 SF TOTAL</b>

**PROJECT AREA CALCULATIONS**

	COMMERCIAL	RESIDENTIAL	ACCESS	TOTAL
THIRD LEVEL	0	6,859	394	7,253
SECOND LEVEL	0	6,859	686	7,545
FIRST LEVEL	5,549	0	640	6,189
<b>TOTAL</b>	<b>5,549</b>	<b>13,718</b>	<b>1,720</b>	<b>20,987</b>

**ISSUE:** **DATE:**

PRELIM	12 MARCH 2020
PROGRESS	2 APRIL 2020
SITE PLAN REV	19 JUNE 2020

PROJECT # 18131







NOTE: BUILDING MATERIALS AND COLORS SHOWN ARE NOTED IN GENERAL TERMS AND FINAL MATERIAL AND COLOR SAMPLES WILL BE DETERMINED AND PRESENTED FOR FINAL APPROVAL PRIOR TO CONSTRUCTION

1 NORTH ELEVATION  
3/16" = 1'-0"



2 WEST ELEVATION  
3/16" = 1'-0"

SOUTH COURT SOCIAL  
LOTS 1, 2 & 3 . BLOCK 21 . TOWN OF BUENA VISTA  
013 SOUTH COURT STREET . BUENA VISTA . CHAFFEE COUNTY, CO  
TITLE NORTH AND WEST EXTERIOR ELEVATIONS

COPYRIGHT AS AN UNPUBLISHED WORK. REUSE OR REPRODUCTION PROHIBITED WITHOUT WRITTEN CONSENT OF ARCHITECT

ISSUE	DATE
CONCEPT	21 FEB 2020
PROGRESS	2 APRIL 2020
SITE PLAN APP	14 APRIL 2020
SITE PLAN REV	19 JUNE 2020

PROJECT # 1977

A3.1



NOTE: BUILDING MATERIALS AND COLORS SHOWN ARE NOTED IN GENERAL TERMS AND FINAL MATERIAL AND COLOR SAMPLES WILL BE DETERMINED AND PRESENTED FOR FINAL APPROVAL PRIOR TO CONSTRUCTION

1 SOUTH ELEVATION  
 A3.2 3/16" = 1'-0"



2 EAST ELEVATION  
 A3.2 3/16" = 1'-0"

SOUTH COURT SOCIAL  
 LOTS 1, 2 & 3, BLOCK 21, TOWN OF BUENA VISTA  
 013 SOUTH COURT STREET, BUENA VISTA, CHAFFEE COUNTY, CO  
 TITLE SOUTH AND EAST EXTERIOR ELEVATIONS

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ISSUE	DATE
CONCEPT	21 FEB 2020
PROGRESS	2 APRIL 2020
SITE PLAN APP	14 APRIL 2020
SITE PLAN REV	19 JUNE 2020



NOTE: BUILDING MATERIALS AND COLORS SHOWN ARE NOTED IN GENERAL TERMS AND FINAL MATERIAL AND COLOR SAMPLES WILL BE DETERMINED AND PRESENTED FOR FINAL APPROVAL PRIOR TO CONSTRUCTION

1 NORTH BUILDING - SOUTH ELEVATION  
 A3.3 3/16" = 1'-0"



2 SOUTH BUILDING - NORTH ELEVATION  
 A3.3 3/16" = 1'-0"

SOUTH COURT SOCIAL  
 LOTS 1, 2 & 3 . BLOCK 21 . TOWN OF BUENA VISTA  
 013 SOUTH COURT STREET . BUENA VISTA . CHAFFEE COUNTY, CO  
 TITLE: EXTERIOR ELEVATIONS FACING COURTYARD  
 COPYRIGHT AS AN UNPUBLISHED WORK. REUSE OR REPRODUCTION PROHIBITED WITHOUT WRITTEN CONSENT OF ARCHITECT

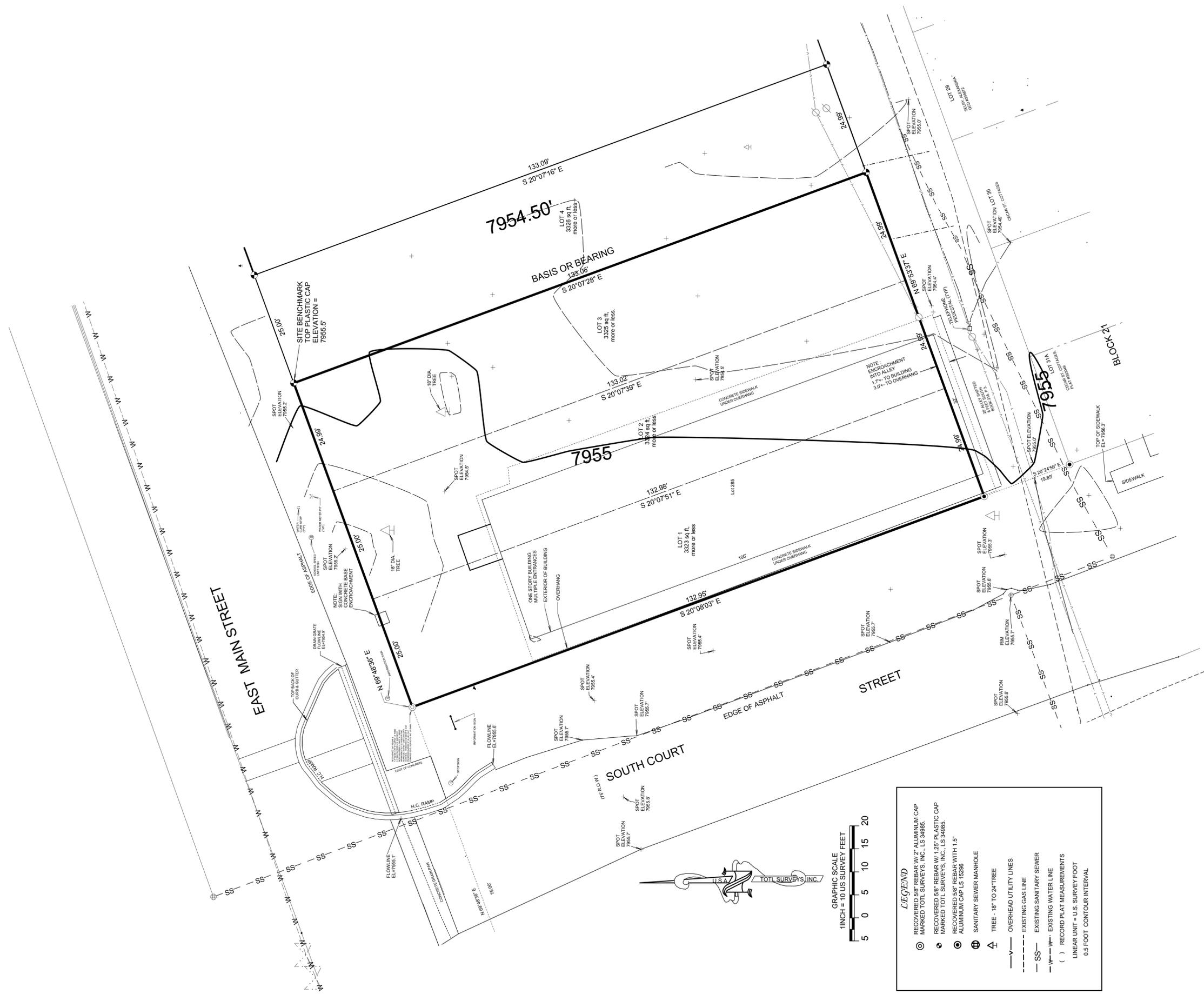
ISSUE	DATE
CONCEPT	21 FEB 2020
PROGRESS	2 APRIL 2020
SITE PLAN APP	14 APRIL 2020
SITE PLAN REV	19 JUNE 2020

PROJECT # 1977



ISSUE	DATE
CONCEPT	21 FEB 2020
PROGRESS	2 APRIL 2020
SITE PLAN APP	14 APRIL 2020
SITE PLAN REV	19 JUNE 2020

**TOPOGRAPHIC SURVEY  
OF  
LOTS 1, 2 & 3, BLOCK 21, TOWN OF BUENA VISTA  
CHAFFEE COUNTY, COLORADO.**



**GENERAL NOTES:**

NOTE #1  
THE PURPOSE OF THIS TOPOGRAPHIC SURVEY DRAWING IS TO SHOW THE TOPOGRAPHIC INFORMATION COLLECTED BY GPS OBSERVATION. LAST DATE OF FIELD OBSERVATION FEBRUARY 17, 2020. THIS IS NOT A LAND SURVEY PLAN.

NOTE #2  
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR TITLE POLICY AND MAY BE SUBJECT TO OTHER RIGHTS OF WAY, EASEMENTS AND ENCUMBRANCES. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION TO SHOW ALL PUBLIC OR PRIVATE UTILITIES, IRRIGATION FACILITIES, SURFACE UTILITIES WERE LOCATED. BURIED UTILITIES WERE MARKED AS SHOWN. CALL 811 BEFORE DIGGING.

NOTE #3  
ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM, 1983. THE BASIS OF GRID BEARINGS IS AS DETERMINED BY GEOGRAPHIC POSITIONING SYSTEM (GPS) SURVEY BEARINGS. COORDINATE SYSTEM IS GEOGRAPHIC DATUM 1983. REBAR PAD 2 ALUMINUM CAP LS 34885. THAT BEARING BEING S 20°07'28\"/>

NOTE #4  
PRIMARY CONTROL POINT 711 B PRIMARY CONTROL - CENTRAL COLORADO AIRPORT CONTROL STATION. TOP OF PLASTIC CAP - SITE BENCHMARK + 7955.5\"/>

NOTE #5  
DUE TO SNOW COVER AT THE TIME OF THIS SURVEY, SOME FEATURES MAY NOT BE SHOWN HEREON.



**LEGEND**

- ⊙ RECOVERED 5/8\"/>
- ⊙ RECOVERED 3/8\"/>
- ⊙ SANITARY SEWER MANHOLE
- ⊙ TREE - 18\"/>
- OVERHEAD UTILITY LINES
- EXISTING GAS LINE
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- ( ) RECORD PLAT MEASUREMENTS
- LINEAR UNIT - U.S. SURVEY FOOT
- 0.5 FOOT CONTOUR INTERVAL

National Geodetic Survey, Retrieval Date = FEBRUARY 4, 2019  
 AI5944 PACS - This is a Primary/Airport Control Station.  
 AI5944 DESIGNATION - 711 B  
 AI5944 PID - AI5944  
 AI5944 COUNTY - COCHOFFEE  
 AI5944 COUNTRY - US  
 AI5944 USGS QUAD - BUENA VISTA EAST (1994)  
 AI5944 "CURRENT SURVEY CONTROL  
 AI5944 NAVD 83(2011) POSITION - 38 48 57 7285(N) 106 07 23 1224(W) ADJUSTED  
 AI5944 NAD 83(2011) ELLIP-HIT - 2407.209 (meters) (062712) ADJUSTED  
 AI5944 NAVD 83 ORTHO HEIGHT - 2421.30 (meters) 7943.9 (feet) GPS OBS  
 AI5944 NAVD 88 orthometric height was determined with geoid model GEOID09  
 AI5944 GEOID HEIGHT - 14.032 (meters) GEOID2B  
 AI5944 NAD 83(2011) X - -1,382,407.900 (meters) COMP  
 AI5944 NAD 83(2011) Y - -4,782,230.632 (meters) COMP  
 AI5944 NAD 83(2011) Z - 3,977.547 (meters) COMP  
 AI5944 LAPLACE CORR. - 1.54 (seconds) DEFLEC12B  
 AI5944 Network accuracy estimates per FGDC Geospatial Positioning Accuracy  
 AI5944 Standard Deviation (m) Standard deviation (cm) Corne  
 AI5944 Horiz Ellip FGDC (85% conf. cm) SD\_N SD\_E SD\_H (unitless)  
 AI5944 NETWORK 1.70 1.63 0.82 0.46 0.83 0.2181286  
 AI5944

**SURVEYOR'S STATEMENT**  
 FEBRUARY 17, 2020

I, KEVIN M. BURDGES, AN AGENT FOR TOTL SURVEYS, INC. AND A REGISTERED PROFESSIONAL LAND SURVEYOR, HAVE CONDUCTED A TOPOGRAPHIC SURVEY OF THE ABOVE DESCRIBED LOTS AND STREETS AND TO THE NORMAL STANDARDS OF CARE OF PROFESSIONAL LAND SURVEYORS PRACTICING IN COLORADO. THAT AS A RESULT OF A SURVEY MADE ON THE GROUND, THIS AS BUILT INFORMATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND REPRESENTS THE SURVEY MADE. THIS IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

TOTL SURVEYS, INC.  
 BY KEVIN M. BURDGES (AGENT)

KEVIN M. BURDGES, R.F.L.S. COLORADO #485

Client: BUS STOP, LLC  
 Project Location: 18 SOUTH COURT STREET BUENA VISTA, COLORADO  
 TOTL Surveys, Inc. 831 N. MOORE ST. SUITE 200 COCHOFFEE, CO 81418  
 Top Of The Line Surveys, Inc.  
 Date: 2-17-2020  
 Drawn: JAM  
 Sheet No. 1 OF 1

ACCORDING TO COLORADO LAW (C.S. 18-6-108) YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE (3) YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE STATEMENT SHOWN HEREON.

# LAND SURVEY PLAT

LOTS 1-3, 4, 5, 6, 7, 8, 9, 10, AND 11 AND THE WESTERLY 17' OF LOT 12, BLOCK 21 TOWN OF BUENA VISTA, CHAFFEE COUNTY, COLORADO.

## LEGEND

- SET 5/8" X 24" REBAR W/ 1 25" PLASTIC CAP STAMPED TOTL SURVEYS, INC. LS 34985.
- ⊙ RECOVERED 5/8" X 24" REBAR W/ 2" ALUMINUM CAP STAMPED TOTL SURVEYS, INC. LS 34985.
- ⊗ RECOVERED 3/4" BRASS WASHER AND CONCRETE NAIL EPOXIED INTO THE SIDEWALK, STAMPED TOTL SURVEYS, INC. LS 34985.
- ▲ RECOVERED 5/8" X 24" REBAR W/ 1 25" PLASTIC CAP STAMPED TOTL SURVEYS, INC. LS 34985.
- ⊠ RECOVERED 5/8" X 24" REBAR W/ 2" ALUMINUM CAP STAMPED TOTL SURVEYS, INC. LS 34985 IN MONUMENT BOX, PLAT REFERENCE NO. 1 & 6.
- ⊙ RECOVERED 5/8" REBAR AND 1.5" ALUM. CAP STAMPED LS 2343.
- ⊙ RECOVERED 1/2" REBAR AND 1.5" ALUM. CAP STAMPED LS 15296.
- RECOVERED 5/8" REBAR AND 1.5" ALUM. CAP STAMPED LS 31544.
- △ RECOVERED 1.5" ALUM. CAP STAMPED LS 16400.
- ◇ COMPUTED POSITION FROM HELD BLOCK CONTROL.
- RECOVERED 5/8" REBAR.
- SANITARY SEWER MANHOLE.
- LINEAR UNIT = US SURVEY FOOT.
- ALUM = ALUMINUM.
- +/- = APPROXIMATE.
- ( ) RECORD INFORMATION SEE PLAT REFERENCE NO. 1.
- PLAT LOT SIZE 25' X 133' SEE PLAT REFERENCE NO. 1.

## PLAT REFERENCES:

1. THE PLAT OF THE TOWN OF BUENA VISTA, DATED FEBRUARY 1, 1996, BY P.A. MEYER LAND SURVEYOR INC., UNDER RECEPTION NO. 283040.
2. THE ORPHEUM THEATRE OF BUENA VISTA, IMPROVEMENT SURVEY PLAT, DATED MARCH 4, 1996, BY P.A. MEYER LAND SURVEYOR INC., DEPOSITED AT THE CLERK AND RECORDER'S OFFICE, UNDER SUR 205.
3. LOT TIE FOR 521 EAST MAIN STREET, THE EASTERLY 8' OF LOT 12, LOTS 13, 14, 15, AND 16 BLOCK 21, TOWN OF BUENA VISTA, DATED APRIL NOVEMBER 2, 1998, BY BEAR SURVEYING SERVICES, UNDER RECEPTION NO. 299932.
4. BUENA VISTA SCHOOL DISTRICT R-31, ALLEY VACATION EXHIBIT, DATED SEPTEMBER 7, 2008, BY AVS OF BUENA VISTA, INC., UNDER RECEPTION NO. 377396.
5. PLAT OF LOT 31A, BLOCK 21, TOWN OF BUENA VISTA, DATED MARCH 4, 2011, BY TOTL SURVEYS, INC., UNDER RECEPTION NO. 393049.
6. EAST MAIN CENTER LINE REMONUMENTATION, DATED OCTOBER 10, 2011, BY TOTL SURVEYS, INC., DEPOSITED AT THE CLERK AND RECORDER'S OFFICE, UNDER SUR 705.
7. SELBY AT CEDAR - MINOR DEVELOPMENT DATED JANUARY 2, 2012, BY TOTL SURVEYS, INC., UNDER RECEPTION NO. 402844.

## SURVEYOR'S PLAT NOTES:

1. THE PURPOSE OF THE LAND SURVEY PLAT IS TO SHOW THE RESULTS OF THE MONUMENTED BOUNDARY SURVEY ON LOTS 1-3, 4, 5, 6, 7, 8, 9, 10, AND 11 AND THE WESTERLY 17' OF LOT 12, BLOCK 21 TOWN OF BUENA VISTA, CHAFFEE COUNTY, COLORADO.
2. DEED LINES ARE BASED ON DEEDS UNDER RECEPTION NOS. 432490, 448464, 447201, AND 419528 AND THE PLAT OF THE TOWN OF BUENA VISTA, DATED FEBRUARY 1, 1996 UNDER RECEPTION NO. 283040, (PLAT REFERENCE NO. 1), AND ON THE LOCATION OF THE MONUMENTS SET BY OTHERS, AS SHOWN HEREON.
3. ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BASIS OF GRID BEARING WAS DETERMINED BY GPS RTK OBSERVATIONS BETWEEN RECOVERED MONUMENTS AT THE CENTER LINE INTERSECTIONS OF EAST MAIN STREET WITH SOUTH BELDAN STREET AND SOUTH COURT STREET. BOTH MONUMENTS ARE A 5/8" X 24" REBAR W/ 2" ALUMINUM CAP STAMPED TOTL SURVEYS, INC. LS 34985 IN MONUMENT BOX, PLAT REFERENCE NO. 6, AS SHOWN HEREON. THAT BEARING BEING N 69°48'27" E. RECORD BEARING (N 69°25' E).
4. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY TOTL SURVEYS, INC. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR TITLE POLICY AND MAY BE SUBJECT TO OTHER RIGHTS OF WAY, EASEMENTS AND CONDITIONS NOT SHOWN ON THIS PLAT. RECORD RESEARCH WAS NOT REQUESTED OR PERFORMED AND EASEMENTS SHOWN OR STATED HEREON ARE LIMITED TO THOSE APPARENT BY VISUAL INSPECTION AND/OR THE PLAT OF THE TOWN OF BUENA VISTA, DATED 1ST DAY OF FEBRUARY, 1996 UNDER RECEPTION NO. 283040, (PLAT REFERENCE NO. 1) AND MAY NOT SHOW ALL EASEMENTS OF RECORD WHICH MIGHT BE REVEALED BY A LICENSED TITLE AUTHORITY. THIS DRAWING IS NOT INTENDED TO SHOW ALL PUBLIC OR PRIVATE UTILITIES, IRRIGATION FACILITIES, OTHER IMPROVEMENTS UPON THE PARCEL OR PARCELS DELINEATED HEREON. A DILIGENT SEARCH WAS MADE OF THE CHAFFEE COUNTY CLERK AND RECORDER'S OFFICE RECORDS FOR ANY DEPOSITED OR RECORDED PLATS IN THE AREA. A DILIGENT SEARCH FOR THE CLOSEST AVAILABLE MONUMENTATION WAS PERFORMED AND THOSE MONUMENTS ARE SHOWN HEREON.
5. LAST DATE OF FIELD OBSERVATIONS: 6-3-19. CLOSURE OF THE EXTERIOR MEETS THE CRITERIA OF 1/30,000.

## NOTICE:

ACCORDING TO COLORADO LAW (C. R. S. 13-80-105) YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE STATEMENT SHOWN HEREON.

## SURVEYOR'S STATEMENT

I, KEVIN M. BURGESS, BEING A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE TO DHAN REAL ESTATE CO. LLC, THAT THIS LAND SURVEY PLAT WAS PREPARED BY ME AND/OR UNDER MY SUPERVISION, THAT BOTH THIS PLAT AND THE SURVEY ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF AND COMPLIES WITH THE COLORADO REVISED STATUTE REGARDING THE MINIMUM STANDARDS FOR LAND SURVEYS AND PLATS. THIS IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED. MONUMENTS WERE PLACED PURSUANT TO 38-51-105, C.R.S.

DATED THE 3RD, DAY OF JUNE, 2019.

*Kevin M. Burgess*  
 KEVIN M. BURGESS PLS 34985  
 AGENT FOR AND ON THE BEHALF OF  
 TOTL SURVEYS, INC.



DEPOSITED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019 A.D.,  
 AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M., IN BOOK \_\_\_\_\_ AT PAGE \_\_\_\_\_  
 RECEPTION NO. \_\_\_\_\_ OF THE COUNTY SURVEYORS  
 LAND SURVEY PLATS AND RIGHT OF WAY SURVEYS, CHAFFEE COUNTY, COLORADO.

CHAFFEE COUNTY CLERK AND RECORDER  
 DEPOSITED BY TOTL SURVEYS, INC.  
 NOTE: THIS LAND SURVEY PLAT HAS NOT BEEN REVIEWED OR ACCEPTED BY THE CHAFFEE COUNTY SURVEYOR. THIS LAND SURVEY PLAT IS CONSIDERED TO BE AVAILABLE FOR INFORMATION PURPOSES ONLY.

Copyright © 2019

Revised: Job# 19-010B130CourtSt BV

Drawing# Date: 6-3-19 Sheet No. 1 OF 1

## OWNERS AND PROPERTY DESCRIPTION:

DHAN REAL ESTATE CO LLC  
 ALL OF LOTS 1 THRU 8 AND THE ADJACENT 8 FOOT OF THE ALLEY IN BLOCK 21, TOWN OF BUENA VISTA, CHAFFEE COUNTY, COLORADO. RECEPTION NO. 432490.

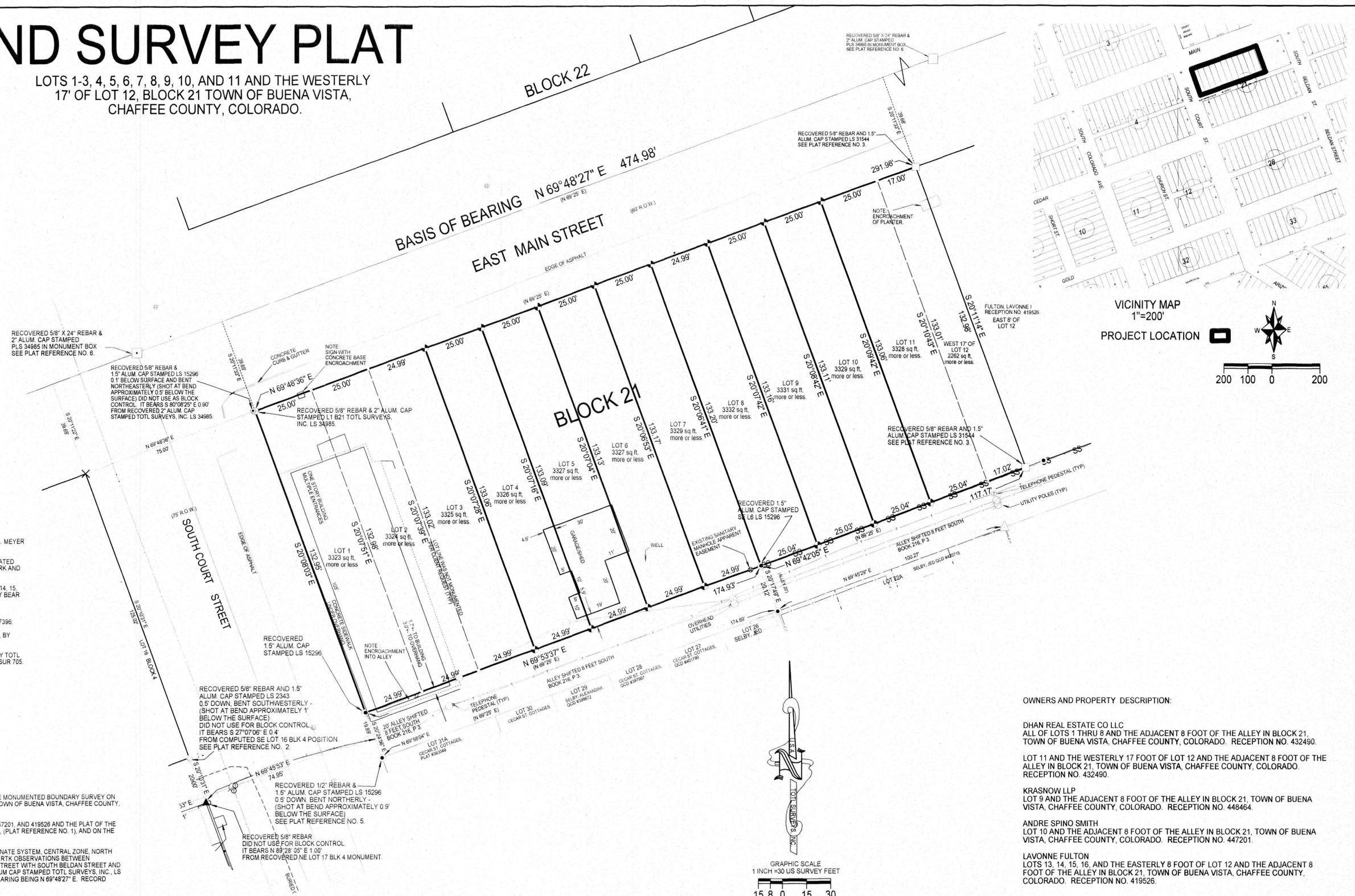
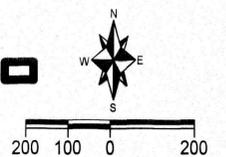
LOT 11 AND THE WESTERLY 17 FOOT OF LOT 12 AND THE ADJACENT 8 FOOT OF THE ALLEY IN BLOCK 21, TOWN OF BUENA VISTA, CHAFFEE COUNTY, COLORADO. RECEPTION NO. 432490.

KRASNOW LLP  
 LOT 9 AND THE ADJACENT 8 FOOT OF THE ALLEY IN BLOCK 21, TOWN OF BUENA VISTA, CHAFFEE COUNTY, COLORADO. RECEPTION NO. 448464.

ANDRE SPINO SMITH  
 LOT 10 AND THE ADJACENT 8 FOOT OF THE ALLEY IN BLOCK 21, TOWN OF BUENA VISTA, CHAFFEE COUNTY, COLORADO. RECEPTION NO. 447201.

LAVONNE FULTON  
 LOTS 13, 14, 15, 16, AND THE EASTERLY 8 FOOT OF LOT 12 AND THE ADJACENT 8 FOOT OF THE ALLEY IN BLOCK 21, TOWN OF BUENA VISTA, CHAFFEE COUNTY, COLORADO. RECEPTION NO. 419528.

VICINITY MAP  
 1"=200'  
 PROJECT LOCATION



**Attachment E – Historic Preservation Commission Comments**

See the Following Page.

July 2, 2020

Via Electronic Mail to: [bvplanning@buonavistaco.gov](mailto:bvplanning@buonavistaco.gov)

Town of Buena Vista  
Attn: Mark Doering, Principal Planner  
201 E. Main St.  
Buena Vista, CO 81211

RE: 103 S. Court Street Site Plan

Dear Mark,

The Town of Buena Vista Historic Preservation Commission (“HPC”) has reviewed the revised site plan dated June 19, 2020 for a new construction project located on Lots 1, 2 & 3 of Block 21 also known as 103 S. Court Street, Buena Vista.

While the Town of Buena Vista has not yet formally adopted the Architectural Design Guidelines drafted by the HPC, some or all of this project falls within the geographic scope of such guidelines and thus the HPC has reviewed the project through that lens.

The HPC provided a detailed written review for the referenced project on May 18<sup>th</sup> and discussed the written review with the owner and design team on June 4<sup>th</sup>. The HPC reviewed the revised site plan, dated June 19, 2020 at our July 2nd meeting and note the following: the HPC recommended a total of nine changes of which the owner incorporated seven into their revised submittal. The two recommended items which were not incorporated into the revised submittal were the reduction of the mass and scale of the project and the removal of the inset patios on the North elevation.

The HPC then formally voted to recommend its overall support of this project. On behalf of the HPC, I also want to thank the owner and design team for their cooperation and effort to adapt the design of the project to Architectural Design Guidelines and for their willingness to work with the HPC in enhancing the architecture on East Main Street.

Finally, thank you, Mark, for the opportunity to provide feedback on this important project.

Sincerely,

  
Katy Welter, Chair

**Attachment F – Draft Resolution**

See the Following three (3) Pages.

**TOWN OF BUENA VISTA  
PLANNING COMMISSION  
RESOLUTION NO. 2, SERIES 2020**

**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION FOR THE TOWN OF BUENA VISTA, COLORADO, CONDITIONALLY APPROVING A MAJOR SITE PLAN FOR LOTS 1-3, BLOCK 21, TOWN OF BUENA VISTA PLAT, BUENA VISTA, COLORADO.**

**WHEREAS**, BV Bus Stop, LLC (“Owner”) owns Lots 1-3, Block 21 of the original plat of the Town of Buena Vista (“Property”);

**WHEREAS**, pursuant to Table 6.3 in Section 16.06.6.5 of the Buena Vista Municipal Code (the “Code”), mixed-use development consisting of more than 10 dwelling units or 10,000 or more square feet of nonresidential gross floor area is a major site plan;

**WHEREAS**, the Owner has applied Major Site Plan approval for use of the Property a 21,000 square-foot mixed-use building containing approximately 5,550 square feet of commercial with 16 multifamily units;

**WHEREAS**, on July 15, 2020, the Planning and Zoning Commission conducted a duly noticed public hearing on the application; and

**WHEREAS**, after reviewing all materials provided to it, and hearing staff and public testimony, the Planning and Zoning Commission desires to approve the major site plan, subject to the conditions set forth herein.

**BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF BUENA VISTA, COLORADO**, as follows:

**Section 1.** The Planning and Zoning Commission, having reviewed the criteria for approval of a Major Site Plan as set forth in Section 16.06.6.5.1.C.3 of the Code, finds that:

1. Applicant has requested approval of a Major Site Plan to allow a mixed-use building in the Mixed Use - Main Street (MU-MS) Zone District on Property;
2. Notice of the public hearing was posted on the property and published in the newspaper as required by the Unified Development Code;
3. The request was reviewed by the appropriate referral agencies for their review;
4. The site plan is consistent with the Comprehensive Plan and other adopted Town policies and plans;
5. The site plan is consistent with any previously approved plan, planned unit development, and/or any other precedent land use approval;
6. Subject to the condition herein, the site plan complies with applicable standards in

the Unified Development Code for Major Site Plans.

**Section 2.** The Planning and Zoning Commission hereby approves the Major Site Plan, subject to the following conditions:

1. The proposed uses for purposes of this site plan review are general retail and long-term multifamily residential. Any changes to those uses are proposed will be subject all applicable Town regulations and any changes must be approved by the Town prior to those uses are permitted on the Property.
2. No short-term rentals are allowed with this approval. The Owner shall ensure that no residential tenants shall conduct short-term rentals of individual units in their leases for the multifamily residential units.
3. The proposed project is being developed as two mixed-use buildings on one lot with long-term leases of all units. Should the owner seek to condominiumize the project in the future, the buildings shall be brought up to compliance with the building code and utility codes in effect at that time, including any individual utility and fire separation requirements, prior to becoming condominiums through condominium plat and change of use applications.
4. The Owner shall pay fees in lieu of school land dedication in the amount of \$444.66 per residential unit (\$7,114.56 for 16 units) prior to the issuance of a building permit for the proposed development.
5. The Owner shall pay fees in lieu of park land dedication in the amount of \$646.00 per residential unit (\$10,336.00 for 16 units) prior to the issuance of a building permit for the proposed development.
6. The Site Plan for the mixed-use building shall be corrected for any building code requirements. Prior to a Certificate of Occupancy, all corrected drawings shall be digitally submitted to the Town for its records, including any changes from the approved Site Plan drawings.
7. Prior to construction or installation of any encroachments into the building into the Town's rights-of-way, such as signs, lighting or awnings, the Owner shall obtain Town approval of an encroachment permit.
8. All lighting shall be downcast and shielded to comply with Town requirements, and shall be inspected and approved by the Town prior to the issuance of a certificate of occupancy, and if any lighting issues are identified, shall be corrected by the Owner to minimize light pollution.
9. The Owner agrees to reimburse the Town for the Owner's equal share of the construction of the alley in accordance with Colorado law.
10. Prior to building permit, the Owner shall execute an infill agreement with the Town for the public improvements required by this approval.

11. Prior to the first Certificate of Occupancy for the proposed development, the following must occur:
  - a. The Property shall be combined from three lots into one lot through a formal subdivision application approved by the Town and recorded at the Chaffee County Clerk and Recorder's office.
  - b. Rooftop equipment shall be screened from view to at least the height of the equipment.
  - c. The public improvements along South Court Street and East Main Street shall be installed, inspected, and preliminarily accepted by the Town.
12. Prior to the installation of any sign or any change of sign face, the Owner or tenant must obtain a sign permit in accordance with the applicable provision of the Code.
13. The Owner shall instruct all tenants that overnight parking is not allowed on East Main Street in its lease materials, and make its tenants known that any vehicles parked overnight on East Main Street may be towed at the owner's expense.
14. The Owner shall instruct all commercial tenants that they shall obtain and maintain business licenses for all businesses prior to and during their use on the Property.
15. The Owner shall instruct all commercial tenants that they must clear and maintain sidewalks abutting the property of snow and ice in accordance with the Town's commercial snow removal requirements in affect.

**Section 3.** The Major Site Plan shall be a covenant that runs with the land, provided that pursuant to UDC, the Major Site Plan shall expire and be deemed void if the authorized use or construction is not substantially underway within three (3) years after the date set forth below.

ADOPTED this 15<sup>th</sup> day of July, 2020.

\_\_\_\_\_  
Preston Larimer, Chair

ATTEST:

\_\_\_\_\_  
Paula Barnett, Town Clerk